

GLENDALE CDR&J

A TRACT OF LAND BEING LOT B OF SCHWARTZ PINKUS MANOR AS RECORDED IN PLAT BOOK 188 PAGE 36
 LOCATED IN SECTION 31, TOWNSHIP 45 NORTH, RANGE 6 EAST OF THE 5TH PRINCIPAL MERIDIAN
 CITY OF GLENDALE, ST. LOUIS COUNTY, MISSOURI

SITE PLAN

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A2.2	ENLARGED PLANS

GENERAL NOTES:

1) Subject property is Zoned C-2
 Note: The above zoning provided by the City of Glendale, and to verify the client should obtain a zoning endorsement from their title company.
 Front: There shall be a front yard in a "C-2" District of not less than thirty-five (35) feet. Where a lot is located at the intersection of two (2) or more streets, there shall be a front yard on each street side of such corner lot of not less than thirty-five (35) feet. No main building or accessory building shall project beyond the front yard line on either side.

Side: There shall be a side yard in a "C-2" District of not less than ten (10) feet.

Rear: There shall be a rear yard in a "C-2" District having a minimum depth of fifty (50) feet in that portion of the "C-2" zone which has a depth of two hundred fifty (250) feet south of Manchester Road and a rear yard having a minimum depth of thirty (30) feet in that portion of the "C-2" District which has a maximum depth of one hundred seventy-five (175) feet south of Manchester Road. There shall be a rear yard having a minimum depth of twenty-five (25) feet in that portion of the "C-2" District which has a maximum depth of one hundred twenty feet (120) south of Manchester Road. Any property in this zone abutting any residential property shall have either a wall or fence along the rear of such lot or a screening belt ten (10) feet in width along the rear of the lot which shall be planted with trees and shrubbery. Such wall or fence or planted belt shall provide a screen of such height and character as is necessary to screen the commercial usage from such residential area; the plans for such screening shall be submitted to the Plan Commission for its advice and must be approved by the Board of Aldermen in accordance with the provisions of this Chapter before such property can be used for such purposes. No structures or buildings of any kind shall be erected in such rear yard.

Height: No building shall exceed 35'

2) Subject property lies within Flood Zone X (Areas of minimal flood hazard) according to the National Flood Insurance Rate Map Number 29189C0307K with and effective date of 02/04/2015.

3) There are 129 regular, 1 handicapped and many unmarked parking stalls onsite.

4) Utilities shown hereon are shown from record and/or survey information. Any location, size and type information should be considered as approximate only. It is the Contractors responsibility to call Dig-Rite to verify utility locations.

5) The subject property(ies) described in the above commitment are contiguous to each other and the adjoining properties, without any gaps, gores or overlaps.

6) Square footage of the building has been calculated from dimensions approximately 5 foot above grade for the first floor only.

LEGEND			
	BENCH MARK		FIRE HYDRANT
	FOUND IRON ROD		FIRE DEPARTMENT CONNECTION
	FOUND IRON PIPE		WATER MANHOLE
	RIGHT OF WAY MARKER		WATER METER
	UTILITY POLE		WATER VALVE
	SUPPORT POLE		POST INDICATOR VALVE
	UTILITY POLE WITH LIGHT		CLEAN OUT
	LIGHT STANDARD		STORM MANHOLE
	ELECTRIC METER		GRATED MANHOLE
	ELECTRIC MANHOLE		STORMWATER INLET
	ELECTRIC PEDESTAL		GRATED STORMWATER INLET
	ELECTRIC SPLICE BOX		SANITARY MANHOLE
	GAS DRIP		TREE
	GAS METER		BUSH
	GAS VALVE		TRAFFIC SIGNAL
	TELEPHONE MANHOLE		PARKING METER
	TELEPHONE PEDESTAL		STREET SIGN
	TELEPHONE SPLICE BOX		SPRINKLER
	CABLE TV PEDESTAL		MAIL BOX

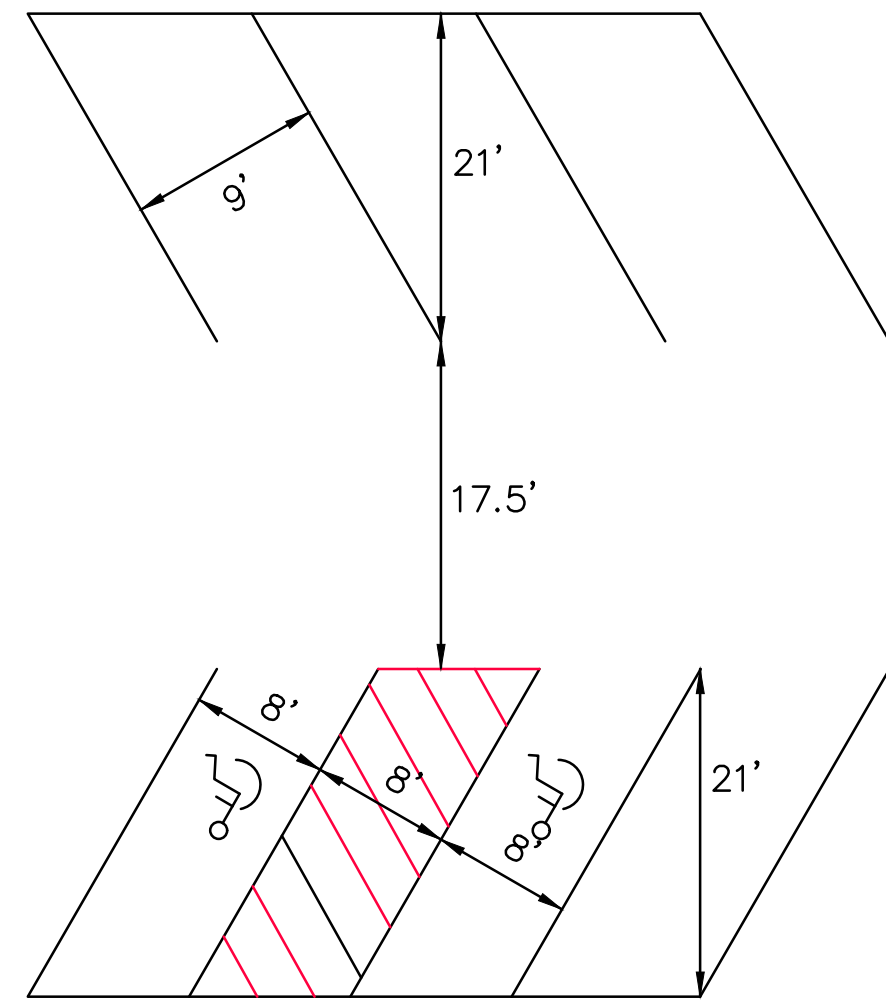
ABBREVIATIONS	
C.O.	— CLEANOUT
DB.	— DEED BOOK
E.	— ELECTRIC
FL.	— FLOWLINE
FT.	— FEET
FND.	— FOUND
G.	— GAS
M.H.	— MANHOLE
N/F.	— NOW OR FORMERLY
P.B.	— PLAT BOOK
P.C.	— PAGE
P.V.C.	— POLYVINYL CHLORIDE PIPE
R.B.	— RADIAL BEARING
R.C.P.	— REINFORCED CONCRETE PIPE
SQ.	— SQUARE
T.	— TELEPHONE CABLE
V.C.P.	— VETRIFIED CLAY PIPE
W.	— WATER
(86'W)	— RIGHT-OF-WAY WIDTH



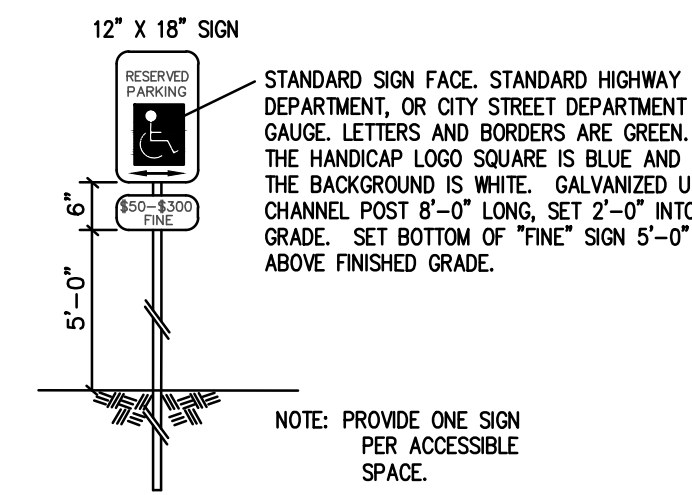
PERTINENT DATA

OWNER	=	GLENDALE PROPERTY HOLDING LLC
ADDRESS	=	10070 MANCHESTER ROAD
SITE ACREAGE	=	±4.63 Ac (201,806 Sq Ft)
LOCATOR No.	=	22M620561
FIRE DISTRICT	=	GLENDALE
SEWER DISTRICT	=	METROPOLITAN SEWER DISTRICT
WATER SERVICE	=	MISSOURI-AMERICAN WATER CO
GAS SERVICE	=	LACLEDE GAS CO
ELECTRIC SERVICE	=	AMEREN UE ELECTRIC
PHONE SERVICE	=	AT&T
ZIP CODE	=	63122
FLOOD MAP	=	29189C0307K

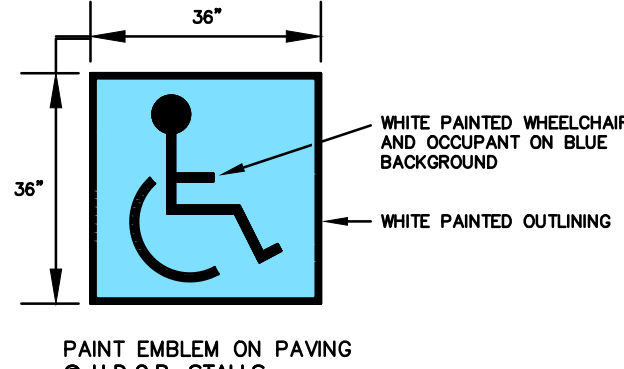
PARKING CALCULATIONS:	
REQUIRED CUSTOMER PARKING:	
THREE AND ONE-THIRD (3-1/3) SPACES FOR EVERY 1,000 S.F. OF GROSS FLOOR AREA UTILIZED FOR SALES AND SHOWROOM.	
GROSS FLOOR AREA = 10,000 SQ. FT. : (10,000/1,000 * 3-1/3) = 33.3 ~ 34 SPACES	
SPACES REQUIRED: 34 SPACES (INCLUDING 1 ADA VAN ACCESSIBLE SPACE)	
SPACES PROVIDED: 40 SPACES (INCLUDING 2 ADA VAN ACCESSIBLE SPACES)	
REQUIRED SERVICE PARKING:	
TWO SPACES FOR EACH SERVICE BAY	
EXISTING SERVICE BAYS = 19 BAYS (19 * 2) = 38 SPACES	
PROPOSED SERVICE BAYS = 14 BAYS (14 * 2) = 28 SPACES	
SPACES REQUIRED: 66 SPACES	
SPACES PROVIDED: 66 SPACES	
NOTE: SERVICE BAY PARKING LOCATIONS ARE SUBJECT TO CHANGE AS NEEDED. SPACES SHOWN ON THIS PLAN ARE FOR FULL BUILD-OUT OF SERVICE BAY EXPANSION.	



TYPICAL 60-DEGREE PARKING STALLS (n.t.s.)



ACCESSIBLE PARKING SIGN (n.t.s.)



PAINTED HANDICAP SYMBOL (n.t.s.)

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED.

UTILITY NOTE

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND, THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.

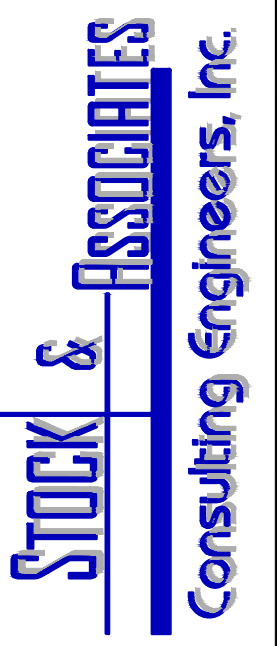


MISSOURI ONE-CALL: 1-800-344-7483
 ST. LOUIS COUNTY: (314) 615-0215
 SIGNALS & LIGHTING: (314) 615-0215

ST. LOUIS COUNTY BENCHMARK
 BENCHMARK# 14323
 NOV29 Elev = 580.22
 "L" on the southwest corner of the first step on the east side facing Sappington Road of a commercial building addressed as #10028 Manchester Road and 146' south of the centerline of Manchester Road.

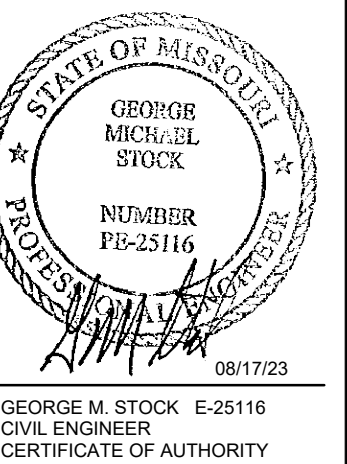
SITE BENCHMARK
 Site Benchmark Elev = 552.53
 "Sq." cut on S.E. Corner of sign base as shown hereon.

PREPARED BY:



PRELIMINARY SITE PLAN FOR:

GLENDALE CDR+J
 10070 MANCHESTER ROAD
 GLENDALE, MO



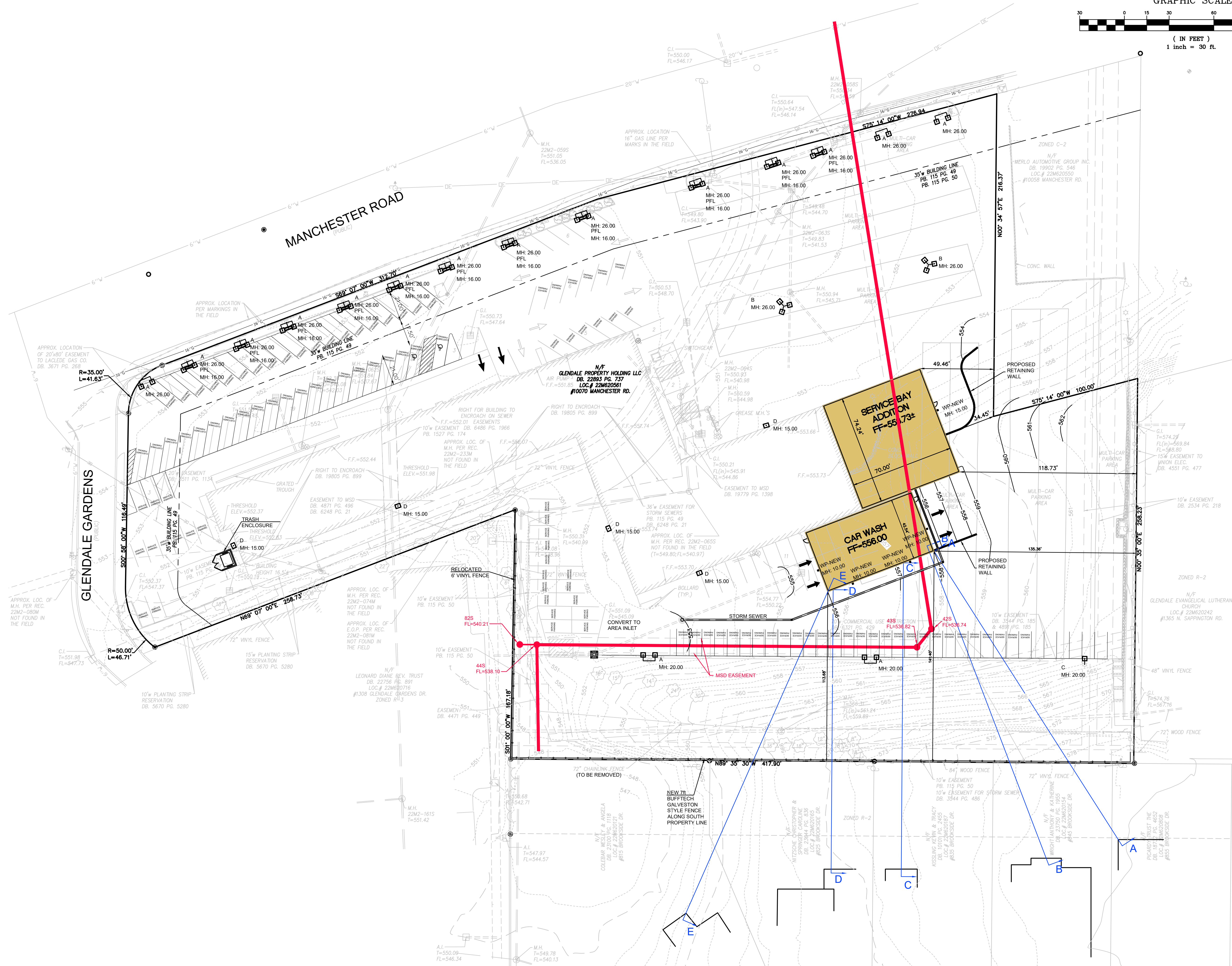
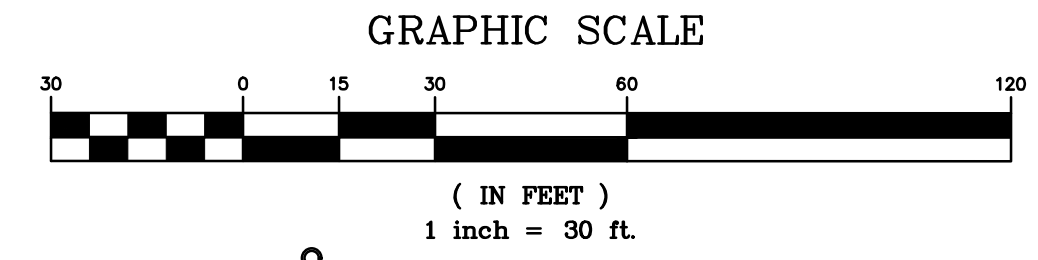
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7.	REVISION 08-17-23

DRAWN BY:	J.E.B.	CHECKED BY:	G.M.S.
DATE:	06/06/22	JOB NO.:	220-6727
M.S.D. P. #:	P-XXXX-XX	BASE MAP #:	224
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M.D.N.R. #:	MO-XXXXXX		
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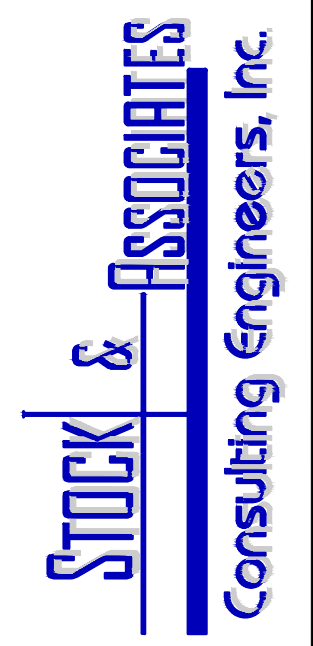
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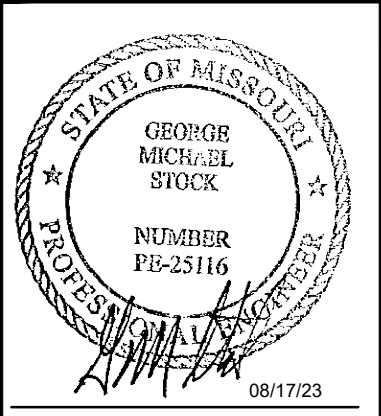
PREPARED BY:



SITE PLAN FOR:

GLENDALE CDR+J

10070 MANCHESTER ROAD
GLENDALE, MO



GEORGE M. STOCK E-25116
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY
NUMBER: 000996

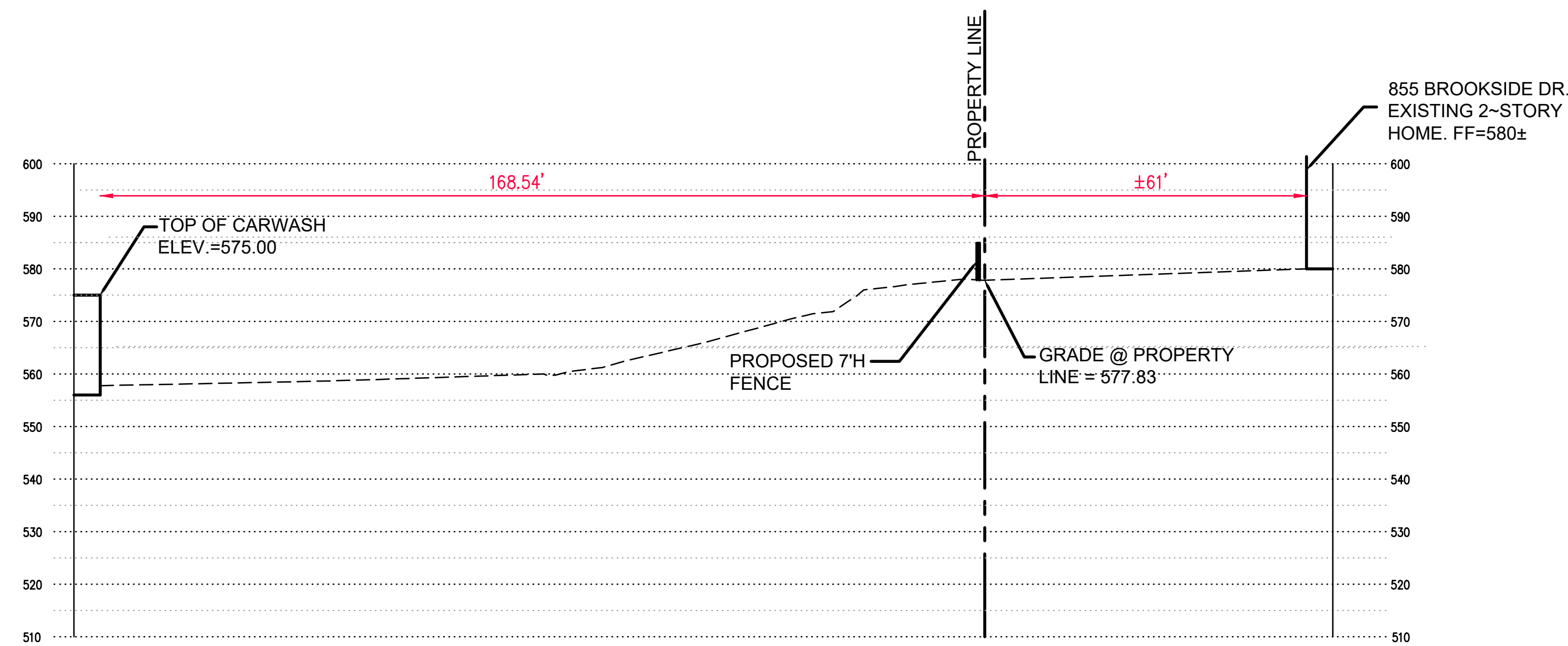
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S.L.C. H&T #: XXXX	H&T S.U.P. #: XX-XXXX
M.D.N.R. #: MO-XXXXXX	
SHEET TITLE:	

SITE PLAN

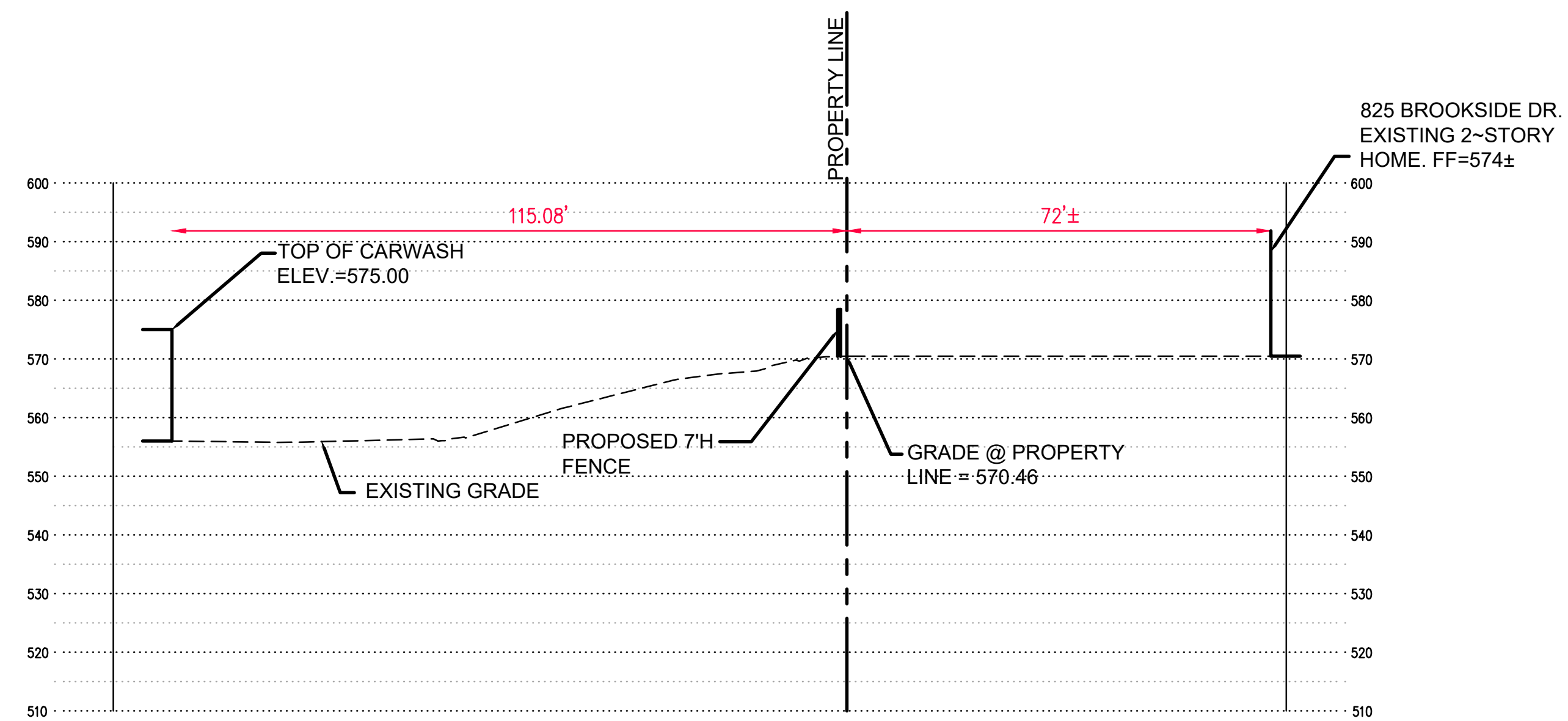
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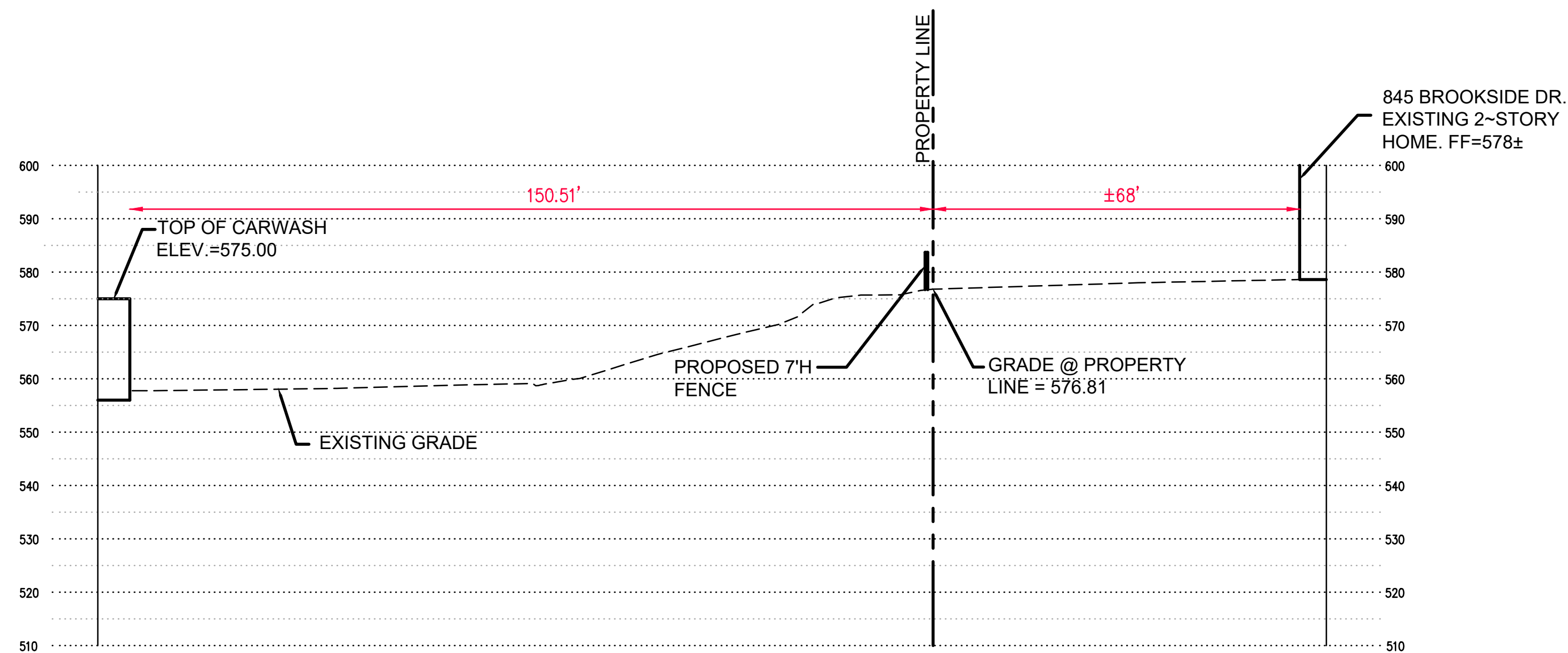
SECTION A-A

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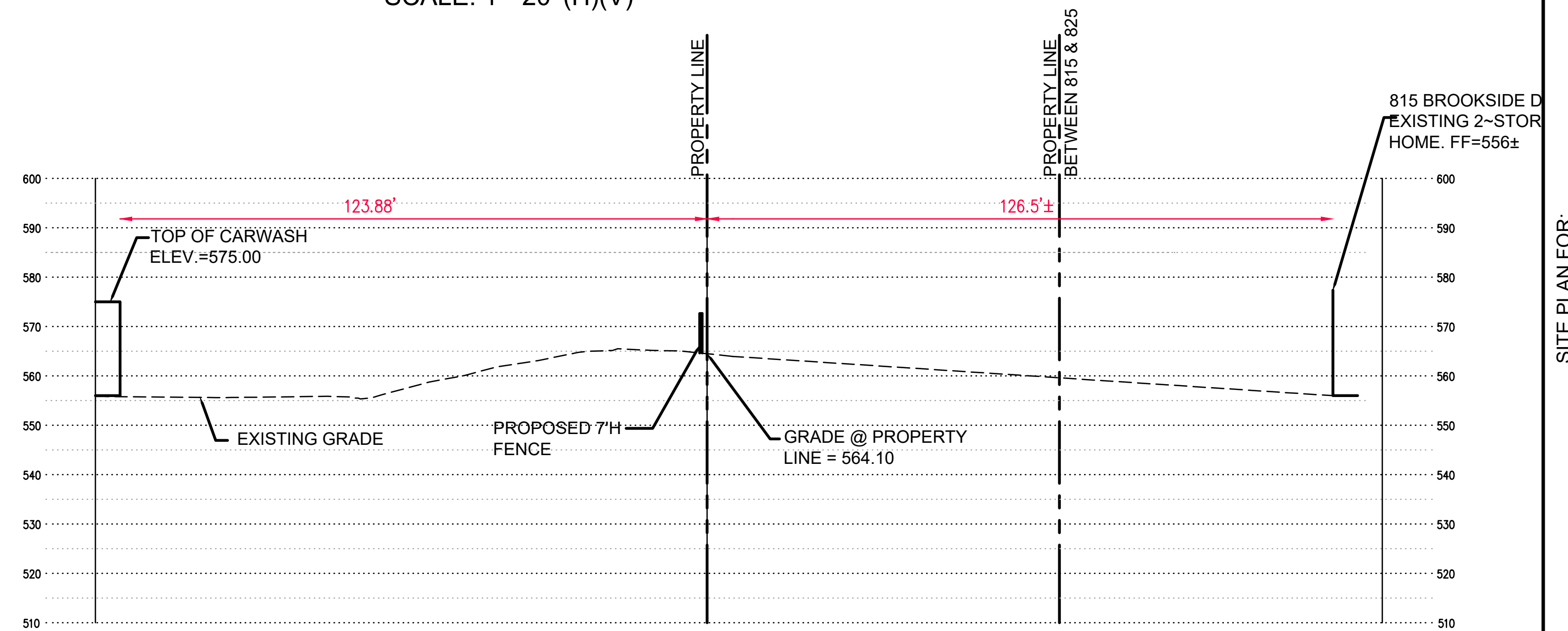
SECTION D-D

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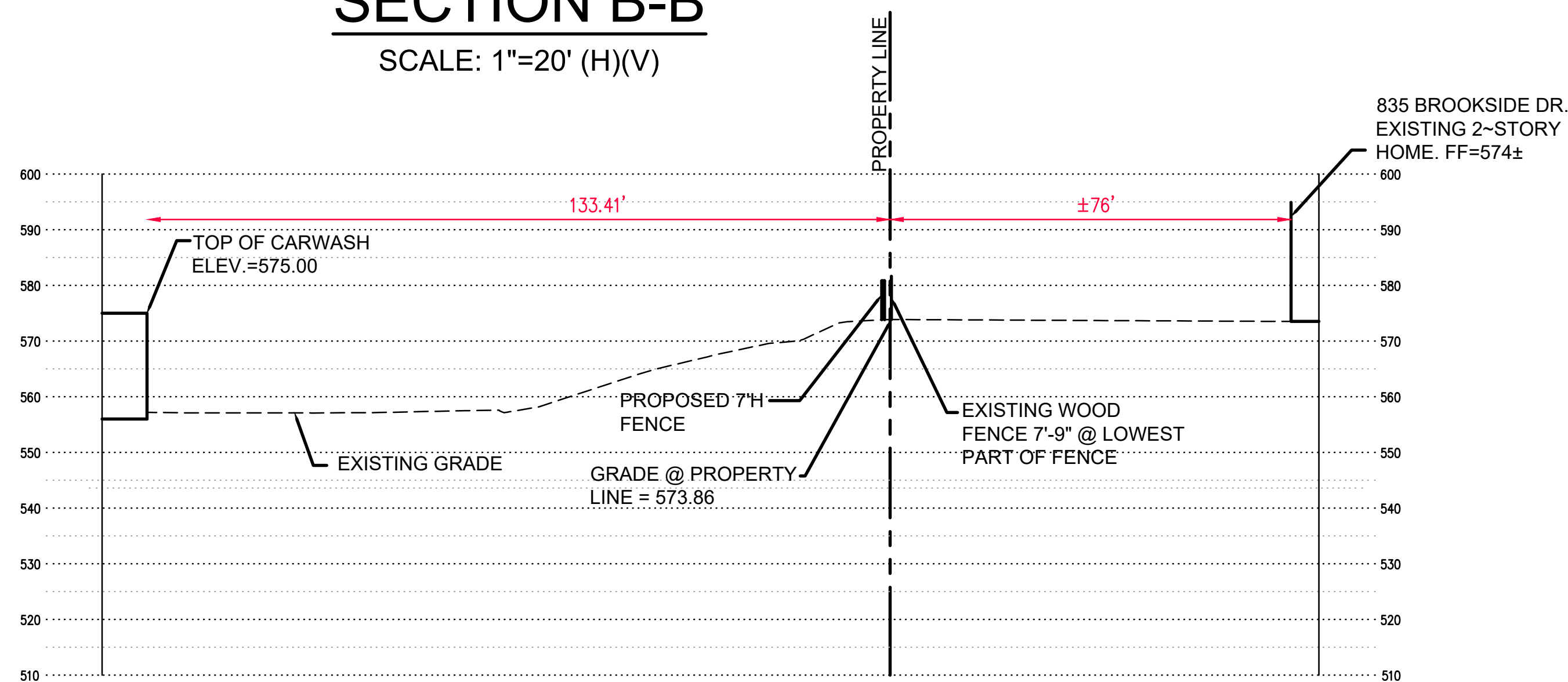
SECTION B-B

SCALE: 1"=20' (H)(V)



SECTION E-E

SCALE: 1"=20' (H)(V)



SECTION C-C

SCALE: 1"=20' (H)(V)

PREPARED BY:

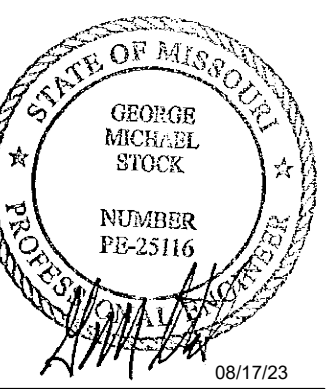
STOCK & ASSOCIATES
Consulting Engineers, Inc.

257 Chesterfield Business Parkway
St. Louis, MO 63015 PH: (636) 530-9100 FAX: (636) 530-9130
e-mail: general@stockassoc.com
Web: www.stockassoc.com

SITE PLAN FOR:

GLENDALE CDR+J

10070 MANCHESTER ROAD
GLENDALE, MO



GEORGE M. STOCK E-25116
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY
NUMBER: 000998

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S.L.C. H&T #: XXXX	H&T S.U.P. #: XX-XXX-XX
M.D.N.R. #: MO-XXXXXX	

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SITE SECTIONS

SHEET NO.:
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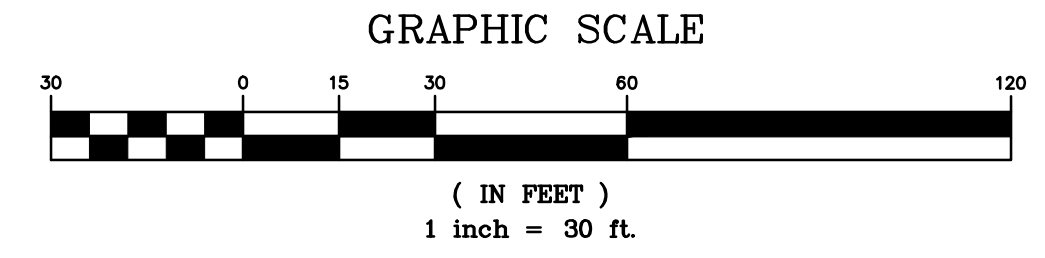
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Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Total Watts
⬤	16	A-EXISTING	Twin	0.950	XGBM-PTA-LED-HO-CW-HSS	287.5	9200
⬤	2	B-EXISTING	3 @ 120 Degrees	0.950	XGBM-S-LED-HO-CW	300	1800
⬤	1	C-EXISTING	Single	0.950	XGBM-FT-LED-HO-CW-HSS	287.6	287.6
⬤	5	D-EXISTING	Single	0.950	XGBM3-FT-LED-48-450-CW-UE	72	360
⬤	11	PFL-NEW	Single	0.950	GLEON-SA0D-750-U-SL4	640	7040
⬤	5	WP-NEW	Single	0.900	XTOR6BRL	58	348

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
BUILDING FRONT Side 22	Illuminance	Fc	12.98	17.1	8.0	1.62	2.14
CalcPts 1	Illuminance	Fc	6.77	39.4	0.0	N.A.	N.A.
PROPERTY LINE	Illuminance	Fc	3.64	18.7	0.0	N.A.	N.A.

TYPE A, B, & C MOUNTED AT 26' AFF
TYPE PFL MOUNTED AT 16' AFF & TILTED 45°
CALCS EVERY 10' ON GRID

DESIGN IS BASED ON CURRENT INFORMATION PROVIDED AT THE TIME OF REQUEST.
ANY CHANGES IN MOUNTING HEIGHT OR LOCATION, LAMP WATTAGE, LAMP TYPE, AND
EXISTING FIELD CONDITIONS, THAT AFFECT ANY OF THE PREVIOUSLY MENTIONED, WILL
VOID CURRENT LAYOUT AND REQUIRE A CHANGE REQUEST AND RECALCULATION.



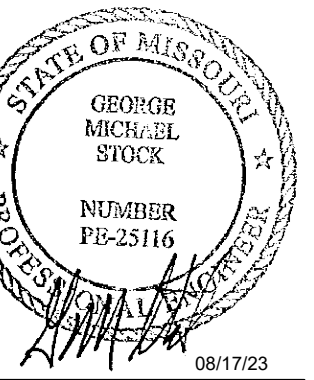
PREPARED BY:

STOCK & ASSOCIATES
Consulting Engineers, Inc.

257 Chesterfield Business Parkway
St. Louis, MO 63015 PH: (636)
530-9100 FAX (636) 530-9100
e-mail: general@stockassoc.com
Web: www.stockassoc.com

SITE PLAN FOR:
GLENDALE CDR+J

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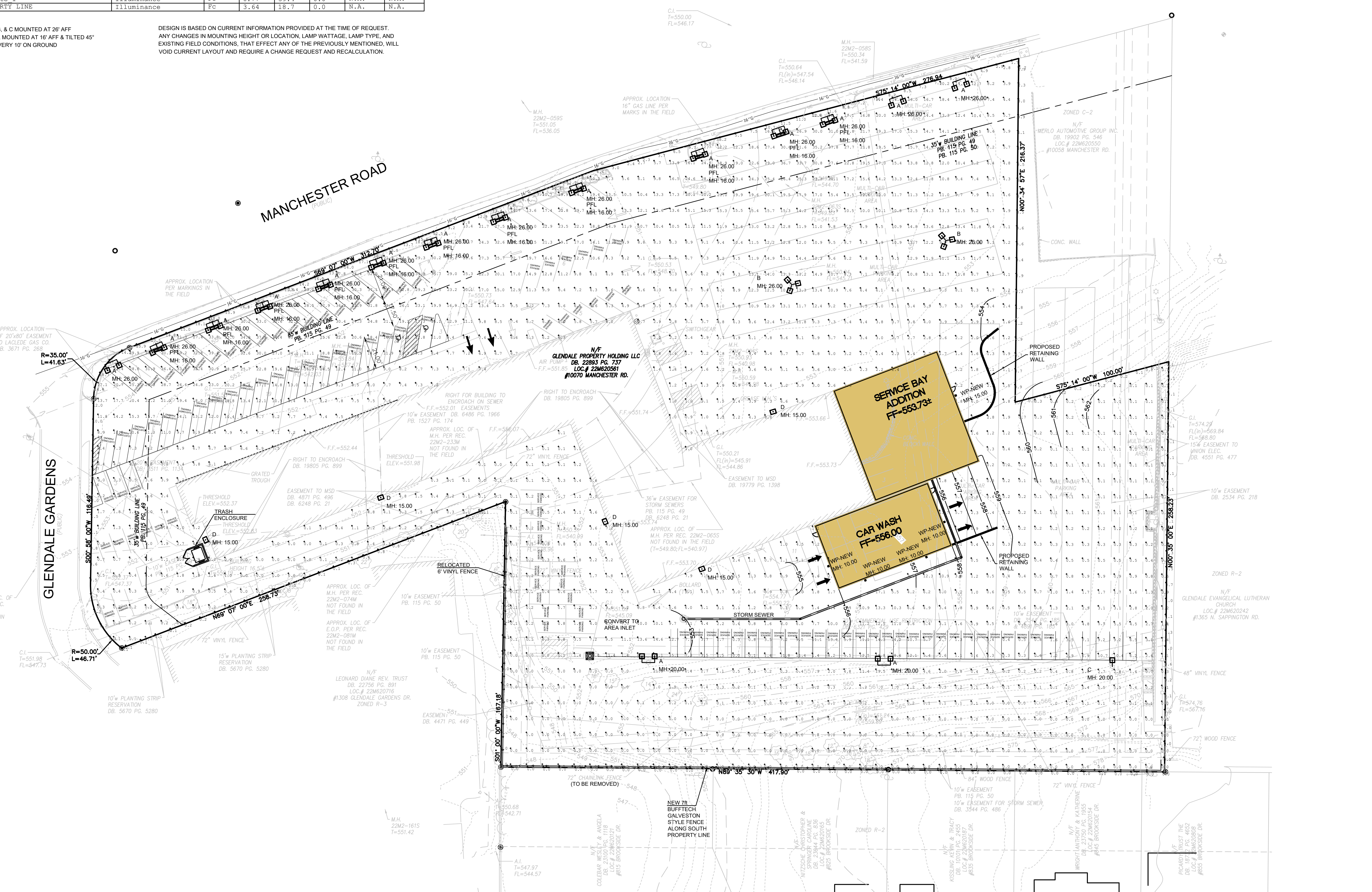
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SHEET TITLE:
SITE
PHOTOMETRIC
PLAN

SHEET NO.:
C4.0



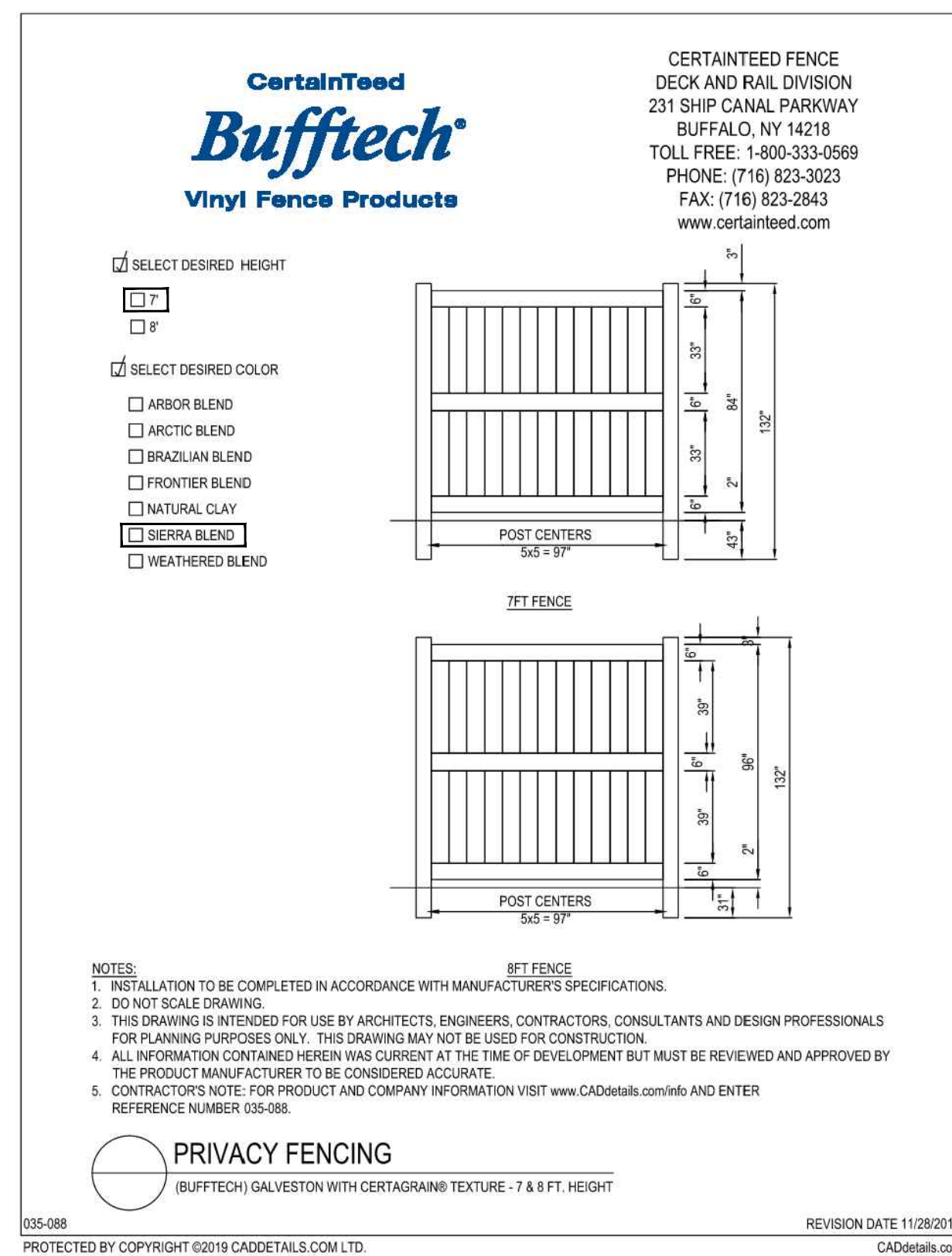
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**GALVESTON CERTAGRAIN® TEXTURE
IN SIERRA BLEND**

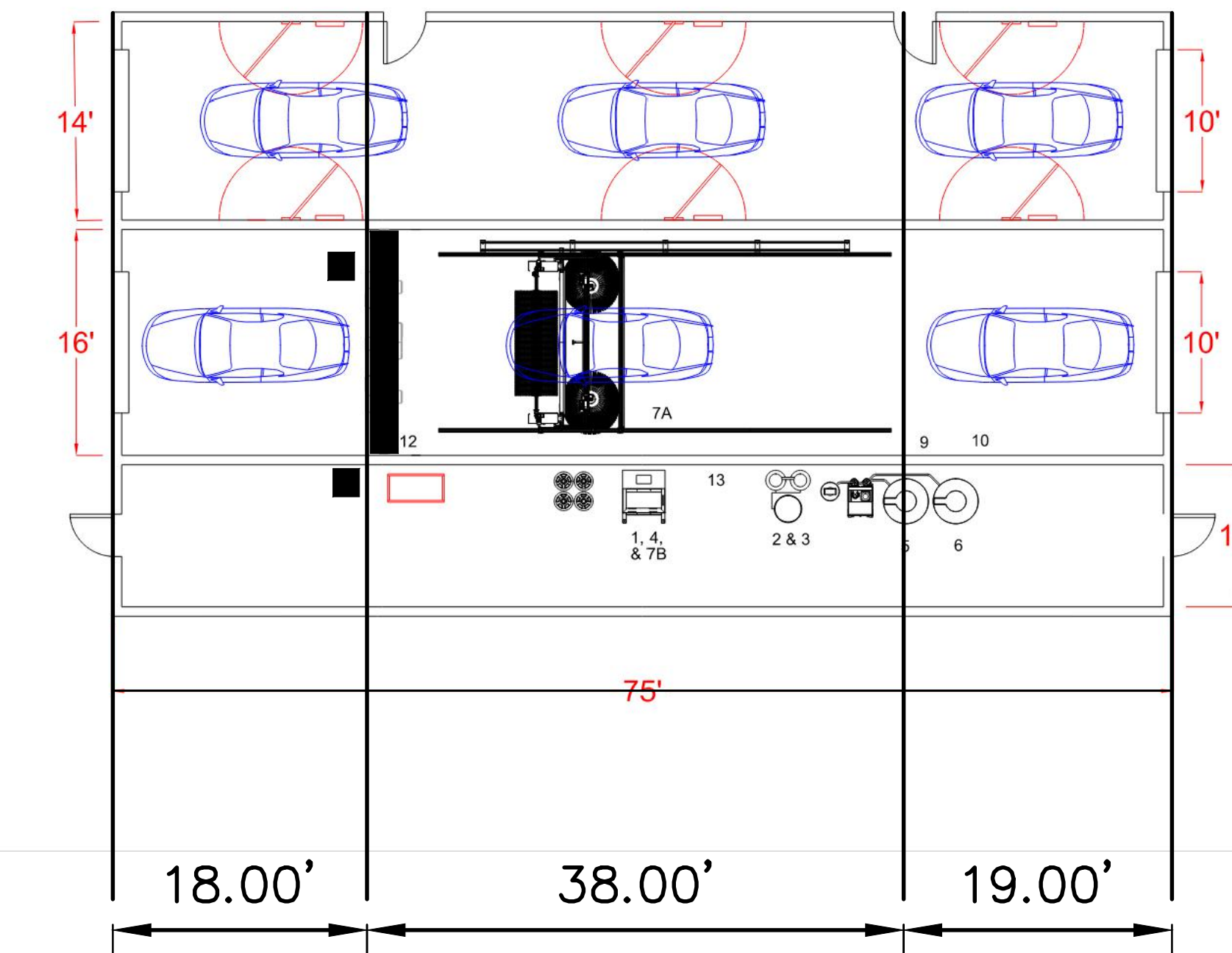
Bufftech leads the vinyl fence industry with realistic woodgrain textures and rich, authentic shades that replicate the look of natural wood. The Galveston privacy fence with CertaGrain texture features our exclusive ColorLast® fade protection, an acrylic formulation that provides superior protection from the harsh rays of the sun. Available in 7' and 8' heights, Galveston is Bufftech's tallest fence and the perfect choice for complete privacy.

[VIEW PRODUCT CATALOG](#)

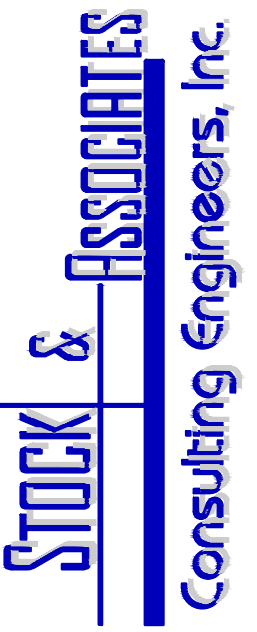


**PRIVACY FENCE
DETAILS
SCALE: N.T.S.**

Glendale Chrysler, Dodge, Jeep, Ram Car Wash							
NO.	SMARTER, CLEANER, GREENER	SIZE	ELECTRICAL	WATER	DRAIN	AIR	REMARKS
1	DC MOTOR REMOTE ACCESS		110V SAMP				LOCATED IN PUMP STAND
2	WATER SOFTENER W/CARBON		120/240V 20AMP	3" OR 3/4" LINE	1/2" MIN		1" MIN SCHED P.V.C. DRAIN - EXTENDED UP 54" A.F.F.
3	BRINE TANK			FILL & DRAW TUBE FROM SOFTENER	1/2" LINE		Overflow only from Brine Tank
4	R.O. UNIT (DEMINERALIZED)		110V SAMP	LINE ATTACHED VIA CAR WASH TECH			
5	R.O. STORAGE TANK	35" DIA. 300 GAL.		FROM R.O. UNIT			CAN EITHER DRAIN TO THE FLOOR, OR INTO A 1" PIPE DRAIN
6	R.O. REJECT TANK	35" DIA. 300 GAL.		FROM R.O. UNIT			
7A	1/2 SOFT TOUCH	30" X 24" PUMP STAND	120 CARBON, 208/240V 20AMP 60WIRE 3PH	FROM PUMP STAND			
7B	1/2 SOFT TOUCH	30" X 24" PUMP STAND	32 BLAMP STAND 78 110V 20AMP 3WIRE 1PH CORDED 208/240V 30 AMP 60WIRE 3PH	FROM PUMP STAND			
8				3/4" COLD SOFT FROM SOFTENER 3/4" FROM RECLAIM TANK TO PS			1/2" LINE - 90' MIN TO CARRIAGE
EQUIPMENT CONNECTIONS							
TO THE STARTER PANEL							
TO TERMINAL ON PUMPING UNIT							
TERMINATE AT PUMP STAND							
WASH BAY							
9	STOP/GO LIGHT		110V SAMP				
10	WASH LEVEL ACTIVATION BOX		3/4" CONDUIT TO CARRY 8 CONDUCTOR WIRE		LOW VOLTAGE		
11	STOP/GO/RECALL LIGHT		110V FROM PUMP STAND TO LIGHT MOUNT				3/4" CONDUIT TO CARRY 110 VAC FROM PUMP STAND TO LIGHT
12	DRAIN FOR SOFTENER						1" STAND PIPE DRAIN

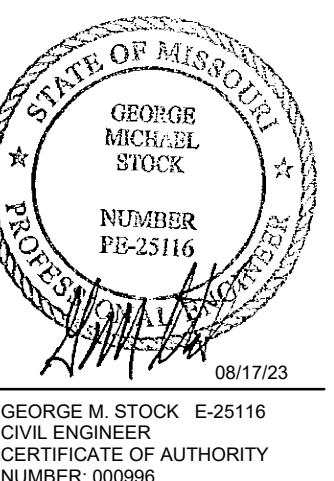


PREPARED BY:



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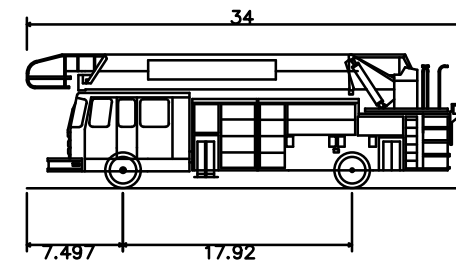
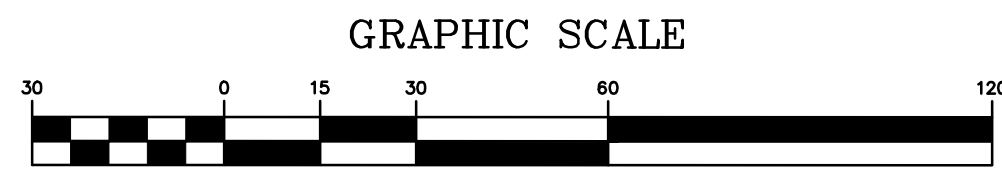


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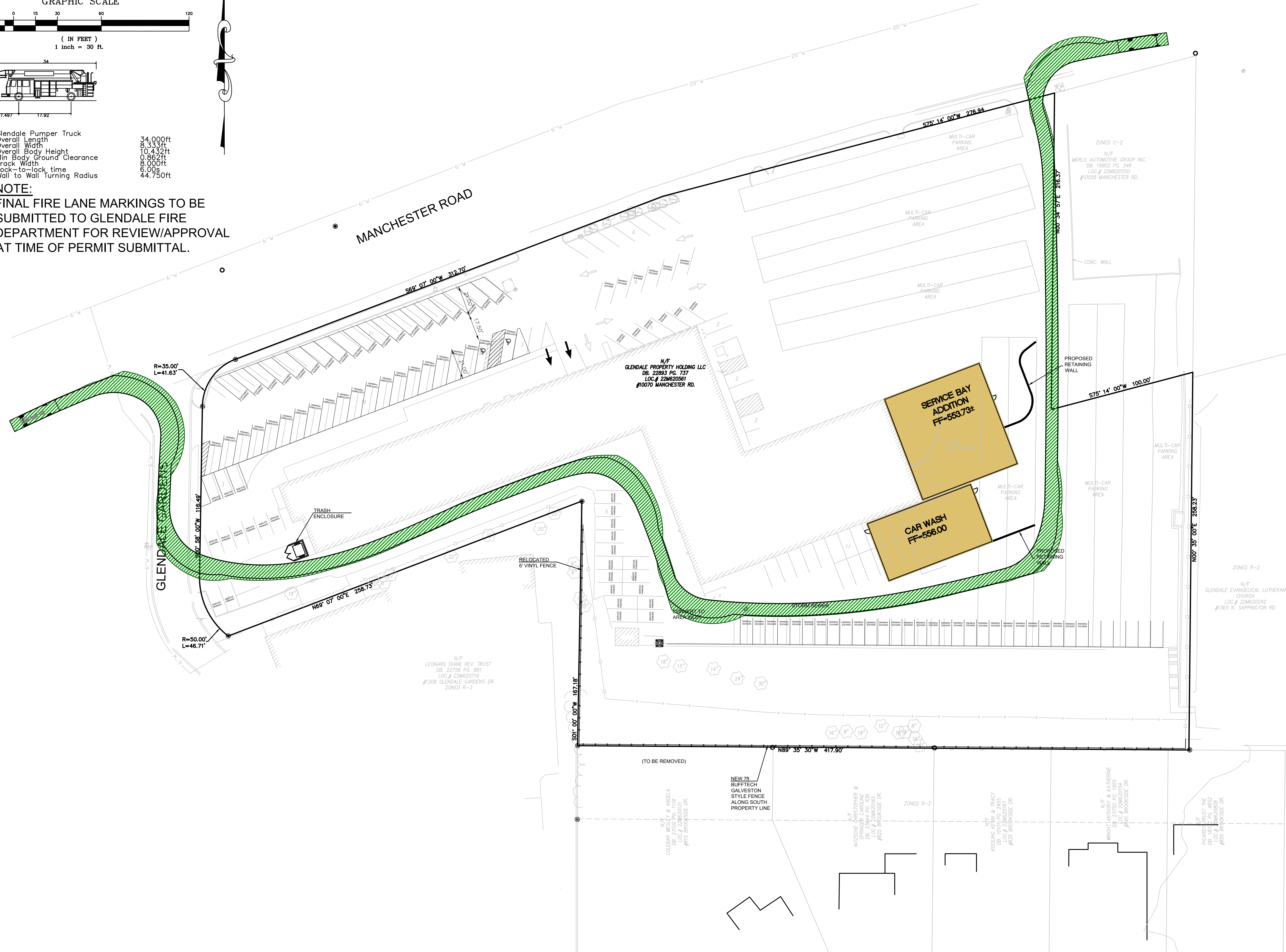
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SITE DETAILS

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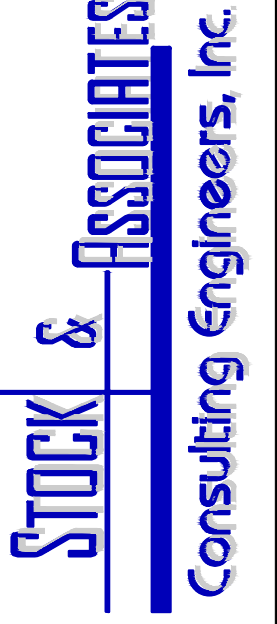


Glendale Pumper Truck
 Overall Length 34.000ft
 Overall Width 7.497ft
 Overall Body Height 17.92ft
 Min Body Ground Clearance 0.862ft
 Track Width 6.000ft
 Lock-to-lock time 6.00s
 Wall to Wall Turning Radius 44.750ft

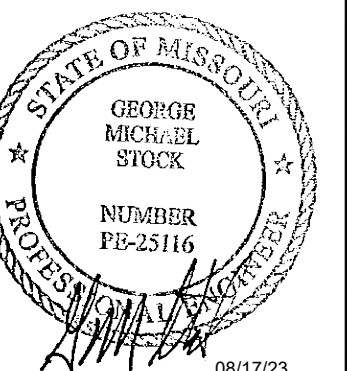
NOTE:
 FINAL FIRE LANE MARKINGS TO BE
 SUBMITTED TO GLENDALE FIRE
 DEPARTMENT FOR REVIEW/APPROVAL
 AT TIME OF PERMIT SUBMITTAL.



PREPARED BY:



SITE PLAN FOR:
GLENDALE CDR+J
 10070 MANCHESTER ROAD
 GLENDALE, MO



GEORGE M. STOCK
 CIVIL ENGINEER
 CERTIFICATE OF AUTHORITY
 NUMBER: 000998

- REVISIONS:
1. REVISION 09-14-22
 2. REVISION 01-03-23
 3. REVISION 05-22-23
 4. REVISION 06-14-23
 5. REVISION 07-11-23
 6. REVISION 08-07-23
 7. REVISION 08-17-23

DRAWN BY: J.E.B.	CHECKED BY: G.M.S.
DATE: 06/06/22	JOB NO: 220-6727
M.S.D. P #: P-XXXX-XX	BASE MAP #: 224
S.L.C. H&T #: XXXX	H&T S.U.P. #: XX-XXX-XX
M.D.N.R. #: MO-XXXXXX	

SHEET TITLE:
 AUTOTURN EXHIBIT
 GLENDALE PUMPER

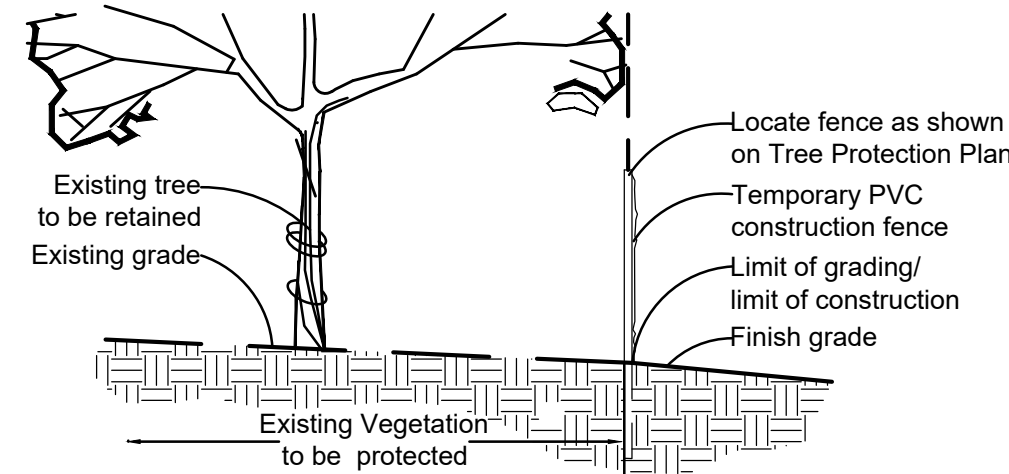
SHEET NO.:
 C6.0

Tree Protection Notes:

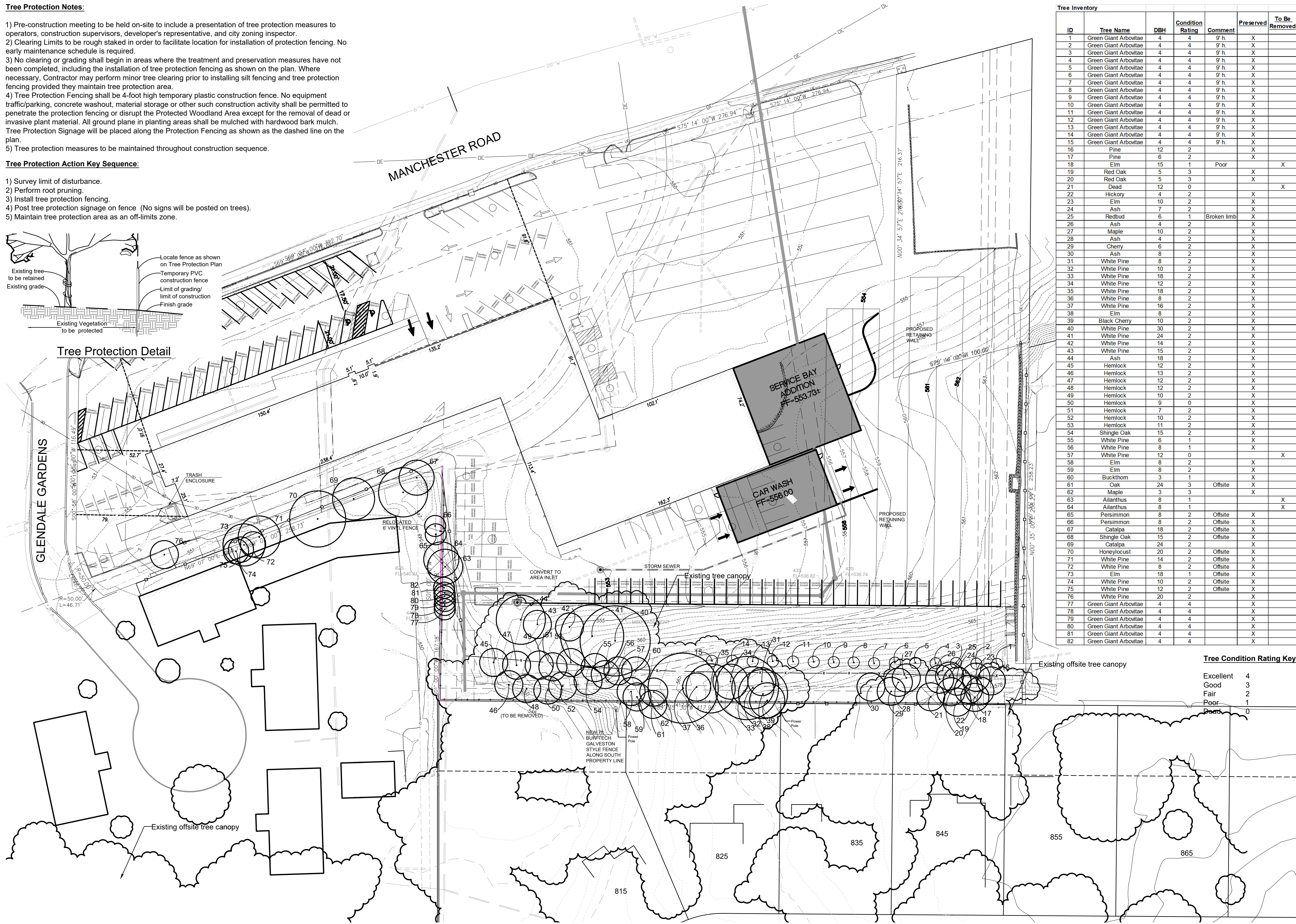
- 1) Pre-construction meeting to be held on-site to include a presentation of tree protection measures to operators, construction supervisors, developer's representative, and city zoning inspector.
- 2) Clearing Limits to be rough staked in order to facilitate location for installation of protection fencing. No early maintenance schedule is required.
- 3) No clearing or grading shall begin in areas where the treatment and preservation measures have not been completed, including the installation of tree protection fencing as shown on the plan. Where necessary, Contractor may perform minor tree clearing prior to installing silt fencing and tree protection fencing provided they maintain tree protection area.
- 4) Tree Protection Fencing shall be 4-foot high temporary plastic construction fence. No equipment traffic/parking, concrete washout, material storage or other such construction activity shall be permitted to penetrate the protection fencing or disrupt the Protected Woodland Area except for the removal of dead or invasive plant material. All ground plane in planting areas shall be mulched with hardwood bark mulch. Tree Protection Signage will be placed along the Protection Fencing as shown as the dashed line on the plan.
- 5) Tree protection measures to be maintained throughout construction sequence.

Tree Protection Action Key Sequence:

- 1) Survey limit of disturbance.
- 2) Perform root pruning.
- 3) Install tree protection fencing.
- 4) Post tree protection signage on fence (No signs will be posted on trees).
- 5) Maintain tree protection area as an off-limits zone.



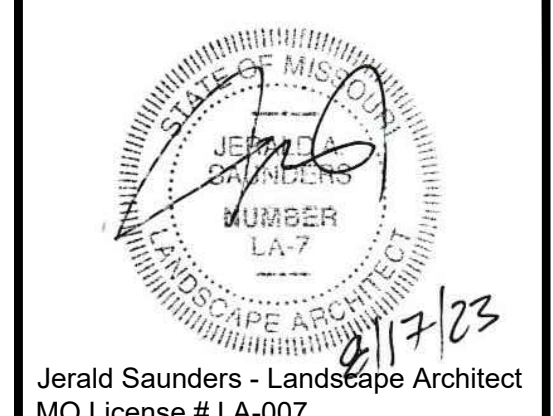
Tree Protection Detail



ID	Tree Name	DBH	Condition Rating	Comment	Preserved	To Be Removed
1	Green Giant Arbutae	4	4	9'h.	X	
2	Green Giant Arbutae	4	4	9'h.	X	
3	Green Giant Arbutae	4	4	9'h.	X	
4	Green Giant Arbutae	4	4	9'h.	X	
5	Green Giant Arbutae	4	4	9'h.	X	
6	Green Giant Arbutae	4	4	9'h.	X	
7	Green Giant Arbutae	4	4	9'h.	X	
8	Green Giant Arbutae	4	4	9'h.	X	
9	Green Giant Arbutae	4	4	9'h.	X	
10	Green Giant Arbutae	4	4	9'h.	X	
11	Green Giant Arbutae	4	4	9'h.	X	
12	Green Giant Arbutae	4	4	9'h.	X	
13	Green Giant Arbutae	4	4	9'h.	X	
14	Green Giant Arbutae	4	4	9'h.	X	
15	Green Giant Arbutae	4	4	9'h.	X	
16	Pine	12	2		X	
17	Pine	6	2		X	
18	Elm	15	1	Poor		X
19	Red Oak	5	3		X	
20	Red Oak	5	3		X	
21	Dead	12	0			X
22	Hickory	4	2		X	
23	Elm	10	2		X	
24	Ash	7	2		X	
25	Redbud	6	1	Broken limb	X	
26	Ash	4	2		X	
27	Maple	10	2		X	
28	Ash	4	2		X	
29	Cherry	6	2		X	
30	Ash	8	2		X	
31	White Pine	8	2		X	
32	White Pine	10	2		X	
33	White Pine	18	2		X	
34	White Pine	12	2		X	
35	White Pine	18	2		X	
36	White Pine	8	2		X	
37	White Pine	16	2		X	
38	Elm	8	2		X	
39	Black Cherry	10	2		X	
40	White Pine	30	2		X	
41	White Pine	24	2		X	
42	White Pine	14	2		X	
43	White Pine	15	2		X	
44	Ash	18	2		X	
45	Hemlock	12	2		X	
46	Hemlock	13	2		X	
47	Hemlock	12	2		X	
48	Hemlock	12	2		X	
49	Hemlock	10	2		X	
50	Hemlock	9	0		X	
51	Hemlock	7	2		X	
52	Hemlock	10	2		X	
53	Hemlock	11	2		X	
54	Shingle Oak	15	2		X	
55	White Pine	6	1		X	
56	White Pine	8	1		X	
57	White Pine	12	0			X
58	Elm	8	2		X	
59	Elm	8	2		X	
60	Buckthorn	3	1		X	
61	Oak	24	3	Offsite	X	
62	Maple	3	3		X	
63	Ailanthus	8	1			X
64	Ailanthus	8	1			X
65	Persimmon	8	2	Offsite	X	
66	Persimmon	8	2	Offsite	X	
67	Catalpa	18	2	Offsite	X	
68	Shingle Oak	15	2	Offsite	X	
69	Catalpa	24	2		X	
70	Honeylocust	20	2	Offsite	X	
71	White Pine	14	2	Offsite	X	
72	White Pine	8	2	Offsite	X	
73	Elm	18	1	Offsite	X	
74	White Pine	10	2	Offsite	X	
75	White Pine	12	2	Offsite	X	
76	White Pine	20	2	Offsite	X	
77	Green Giant Arbutae	4	4		X	
78	Green Giant Arbutae	4	4		X	
79	Green Giant Arbutae	4	4		X	
80	Green Giant Arbutae	4	4		X	
81	Green Giant Arbutae	4	4		X	
82	Green Giant Arbutae	4	4		X	

Tree Condition Rating Key:

Excellent	4
Good	3
Fair	2
Poor	1
Dead	0



Jerald Saunders - Landscape Architect
MO License # LA-007

Consultants:

Glendale Chrysler Jeep Dodge Ram
10070 Manchester Road
Glendale, Missouri 63122

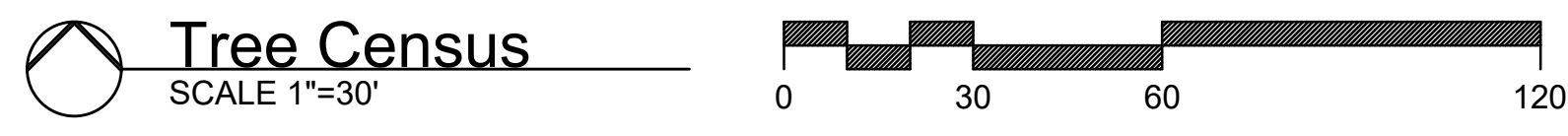
Revisions:

Date	Description	No.
11/1/22	Plan Changes	1
3/16/23	Chart Correction	2
5/10/23	Plan Changes	3
6/6/23	Plan Changes	4
6/30/23	Plan Changes	5
8/17/23	Plan Changes	6

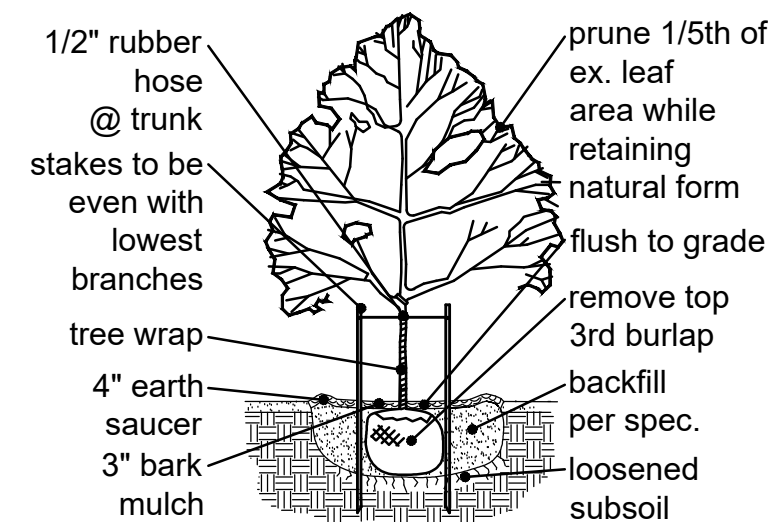
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Checked: RS



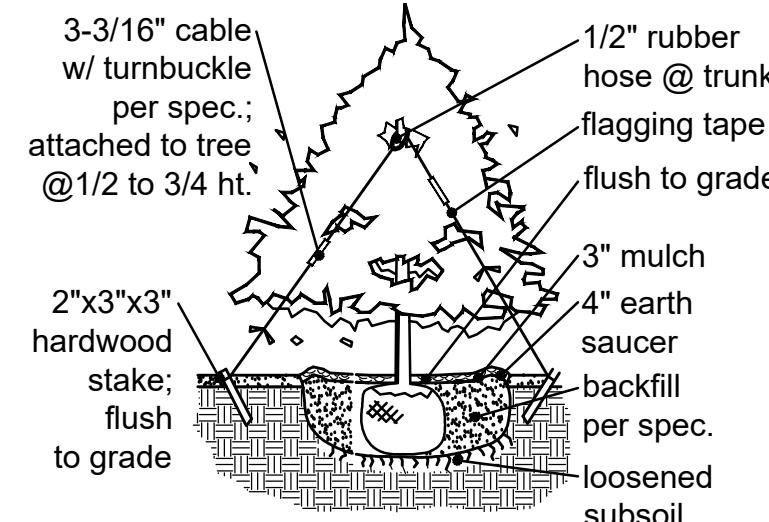
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Sheet No: TC
Date: 6/3/22
Job #: 813.093



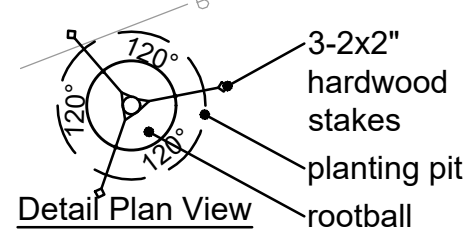
PLANTING SCHEDULE					
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
CANOPY-SHADE TREES					
A	2	Quercus rubra	Red Oak	2.5" cal.	B&B
B	2	Acer rubrum	Red Maple	2.5" cal.	B&B
C	2	Ulmus americana 'Valley Forge Elm'	Valley Forge Elm	2.5" cal.	B&B
EVERGREEN TREES					
P	11	Pinus strobus	White Pine	8' h.	B&B
Q	15	Thuja 'Green Giant'	Green Giant Arborvitae	8' h.	B&B



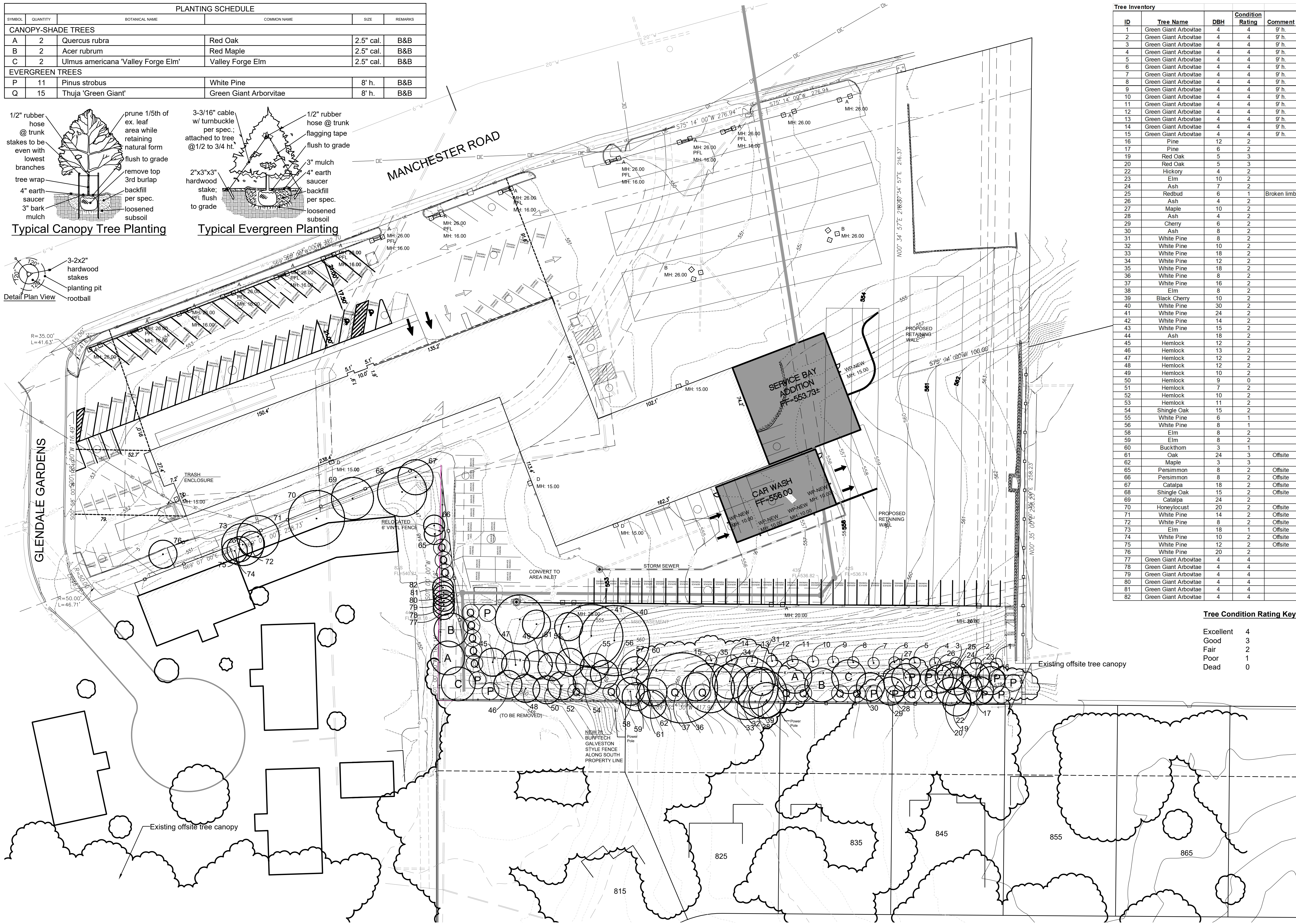
Typical Canopy Tree Planting



Typical Evergreen Planting



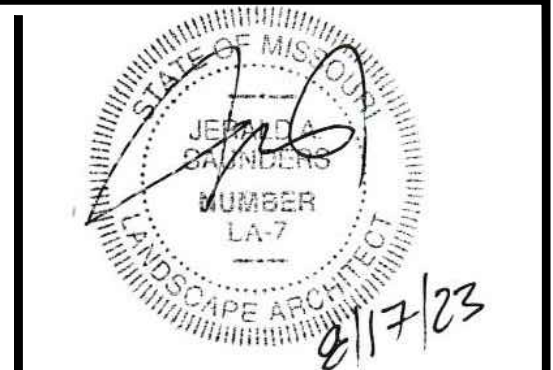
Detail Plan View



Tree Inventory				
ID	Tree Name	DBH	Condition Rating	Comment
1	Green Giant Arborvitae	4	4	9' h.
2	Green Giant Arborvitae	4	4	9' h.
3	Green Giant Arborvitae	4	4	9' h.
4	Green Giant Arborvitae	4	4	9' h.
5	Green Giant Arborvitae	4	4	9' h.
6	Green Giant Arborvitae	4	4	9' h.
7	Green Giant Arborvitae	4	4	9' h.
8	Green Giant Arborvitae	4	4	9' h.
9	Green Giant Arborvitae	4	4	9' h.
10	Green Giant Arborvitae	4	4	9' h.
11	Green Giant Arborvitae	4	4	9' h.
12	Green Giant Arborvitae	4	4	9' h.
13	Green Giant Arborvitae	4	4	9' h.
14	Green Giant Arborvitae	4	4	9' h.
15	Green Giant Arborvitae	4	4	9' h.
16	Pine	12	2	
17	Pine	6	2	
19	Red Oak	5	3	
20	Red Oak	5	3	
22	Hickory	4	2	
23	Elm	10	2	
24	Ash	7	2	
25	Redbud	6	1	Broken limb
26	Ash	4	2	
27	Maple	10	2	
28	Ash	4	2	
29	Cherry	6	2	
30	Ash	8	2	
31	White Pine	8	2	
32	White Pine	10	2	
33	White Pine	18	2	
34	White Pine	12	2	
35	White Pine	18	2	
36	White Pine	8	2	
37	White Pine	16	2	
38	Elm	8	2	
39	Black Cherry	10	2	
40	White Pine	30	2	
41	White Pine	24	2	
42	White Pine	14	2	
43	White Pine	15	2	
44	Ash	18	2	
45	Hemlock	12	2	
46	Hemlock	13	2	
47	Hemlock	12	2	
48	Hemlock	12	2	
49	Hemlock	10	2	
50	Hemlock	9	0	
51	Hemlock	7	2	
52	Hemlock	10	2	
53	Hemlock	11	2	
54	Shingle Oak	15	2	
55	White Pine	6	1	
56	White Pine	8	1	
58	Elm	8	2	
59	Elm	8	2	
60	Buckthorn	3	1	
61	Oak	24	3	Offsite
62	Maple	3	3	
65	Persimmon	8	2	Offsite
66	Persimmon	8	2	Offsite
67	Catalpa	18	2	Offsite
68	Shingle Oak	15	2	Offsite
69	Catalpa	24	2	Offsite
70	Honeylocust	20	2	Offsite
71	White Pine	14	2	Offsite
72	White Pine	8	2	Offsite
73	Elm	18	1	Offsite
74	White Pine	10	2	Offsite
75	White Pine	12	2	Offsite
76	White Pine	20	2	Offsite
77	Green Giant Arborvitae	4	4	
78	Green Giant Arborvitae	4	4	
79	Green Giant Arborvitae	4	4	
80	Green Giant Arborvitae	4	4	
81	Green Giant Arborvitae	4	4	
82	Green Giant Arborvitae	4	4	

Tree Condition Rating Key:

Excellent	4
Good	3
Fair	2
Poor	1
Dead	0



Jerald Saunders - Landscape Architect
MO License # LA-007

Consultants:

Glendale Chrysler Jeep Dodge Ram

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Glendale, Missouri 63122

Revisions:

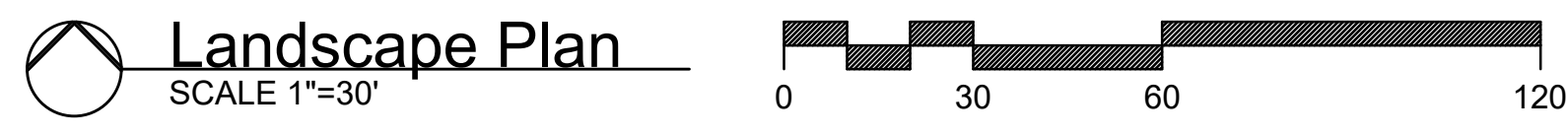
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11/1/22	Plan Changes	1
5/10/23	Plan Changes	3
6/6/23	Plan Changes	4
6/30/23	Plan Changes	5
8/17/23	Plan Changes	6

Drawn: KP
Checked: RS

LOOMIS ASSOCIATES
landscape architects + planners
750 spirit of park drive, chesterfield, missouri 63005
t. 636-519-6668
www.loomis-associates.com

Loomis Associates Inc.
Missouri State Certificate of Authority #: LAC #000019

Sheet Title:	Landscape Plan
Sheet No.:	L1.01
Date:	6/3/22
Job #:	813.093





Jerald Saunders - Landscape Architect
MO License # LA-007

Consultants:

Glendale Chrysler Jeep Dodge Ram

10070 Manchester Road
Glendale, Missouri 63122

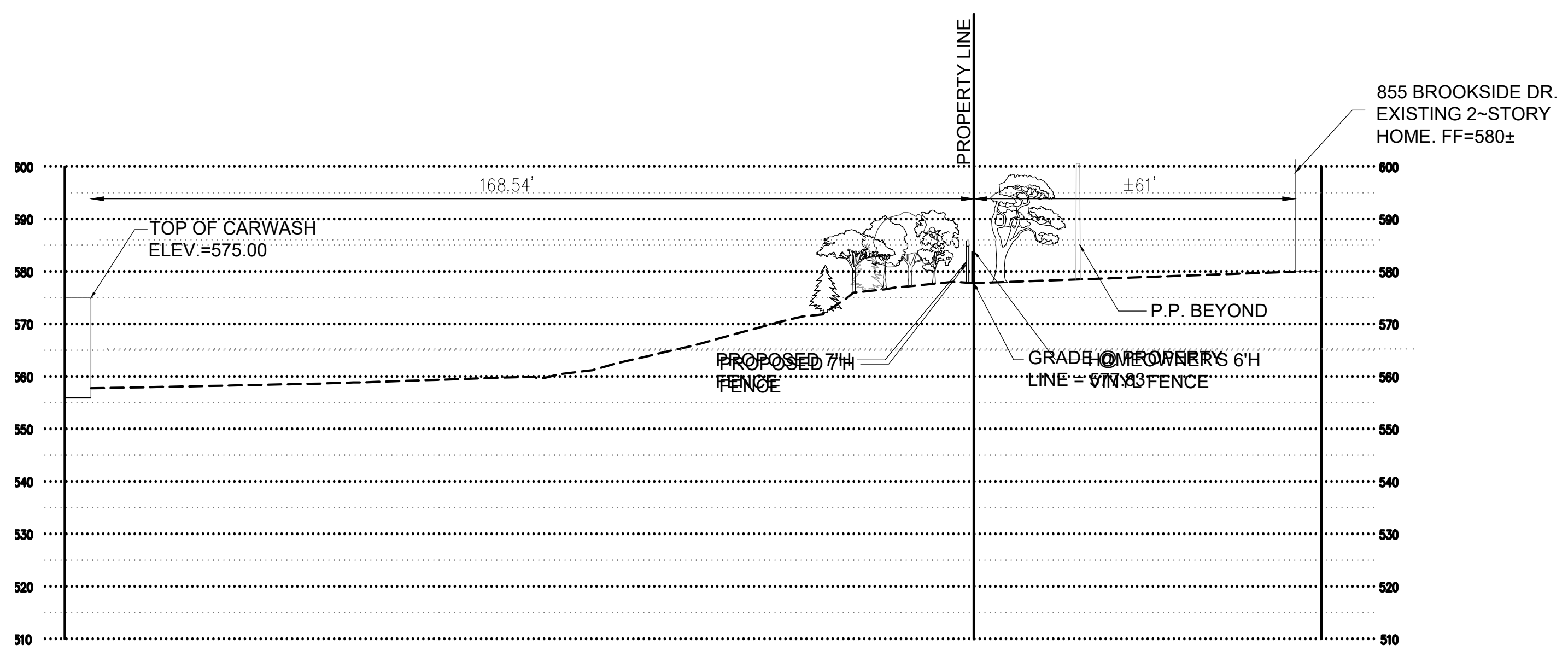
Revisions:

Date	Description	No.
6/6/23	Plan Changes	4
6/30/23	Plan Changes	5
8/17/23	Plan Changes	6

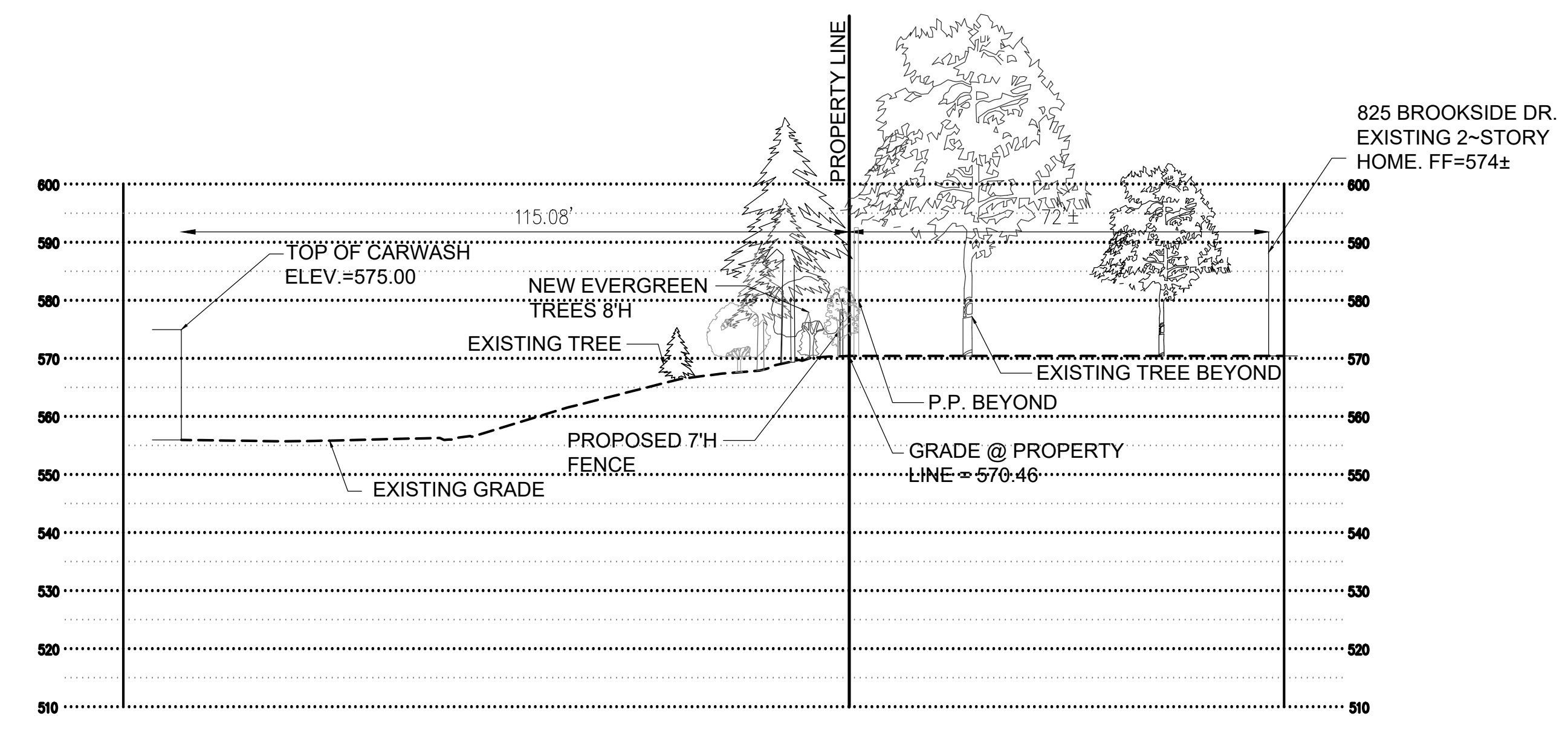
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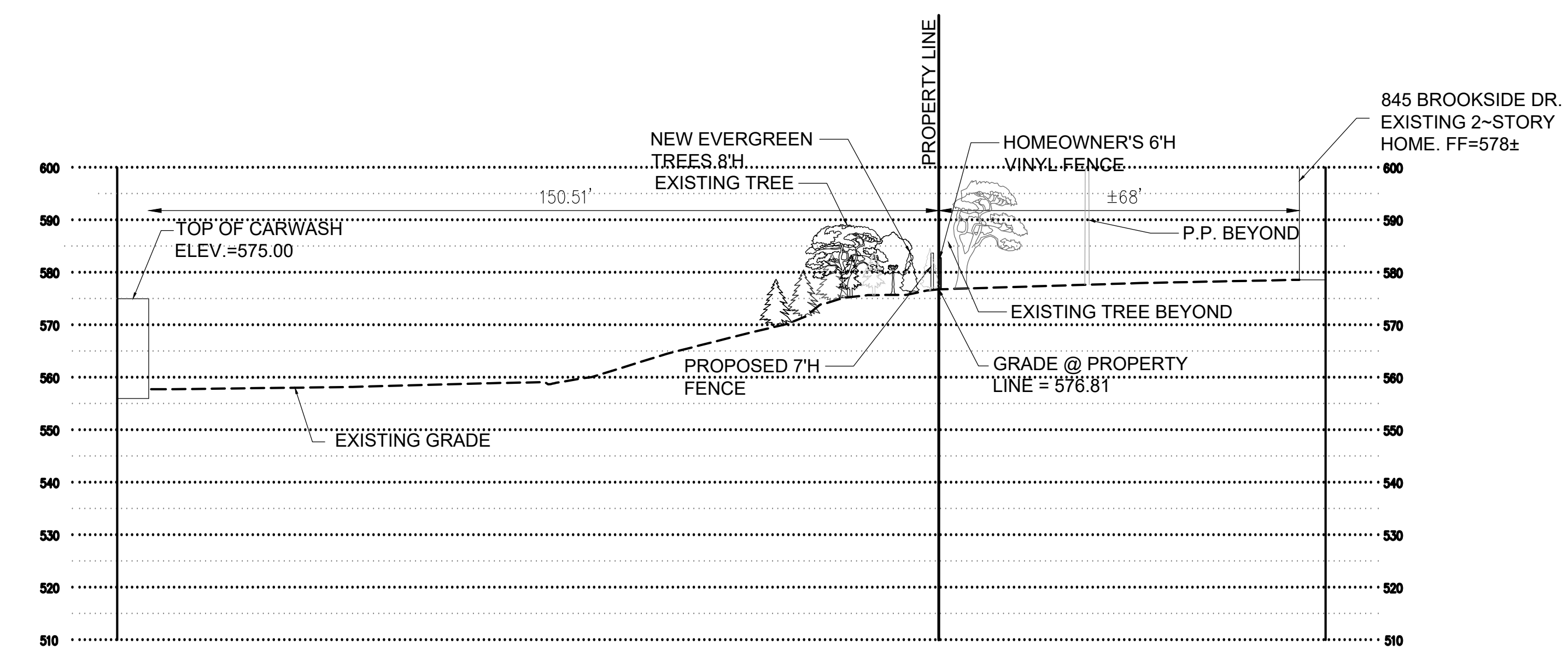
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Sheet No.:	L2.01
Date:	11/1/22
Job #:	813.093



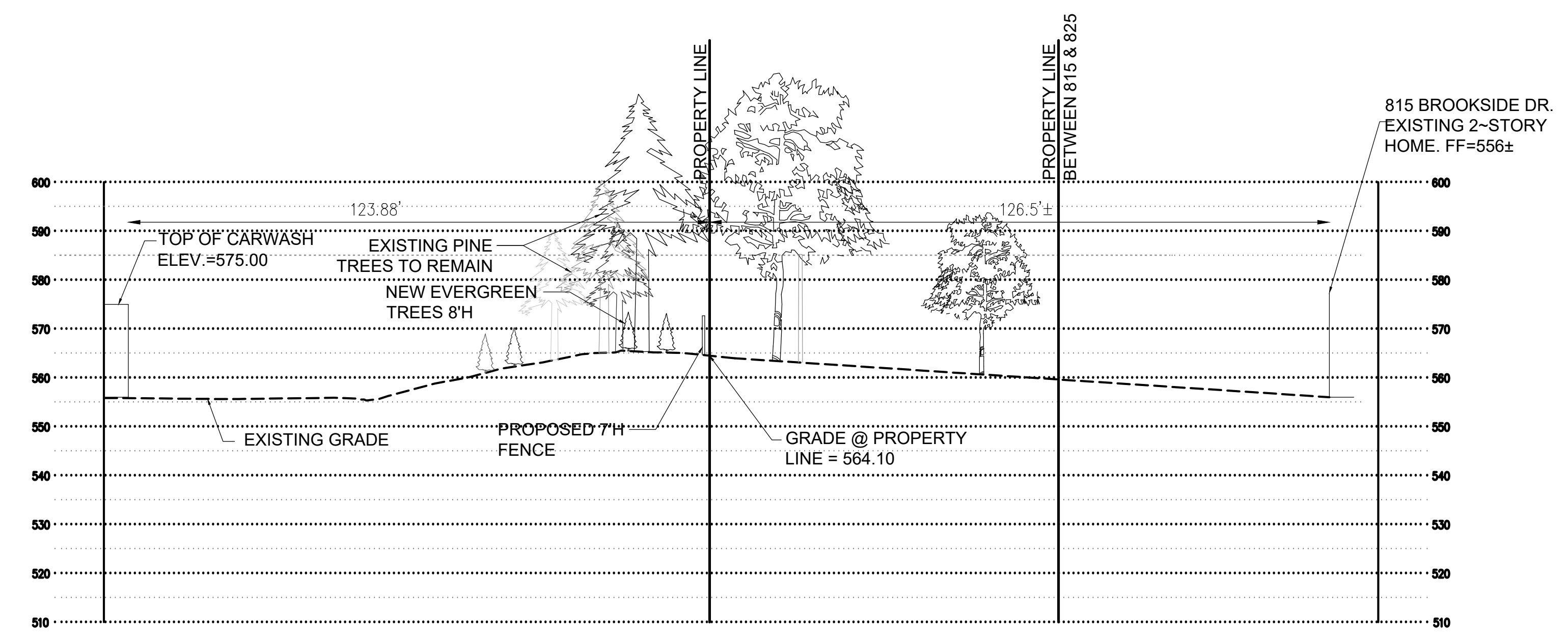
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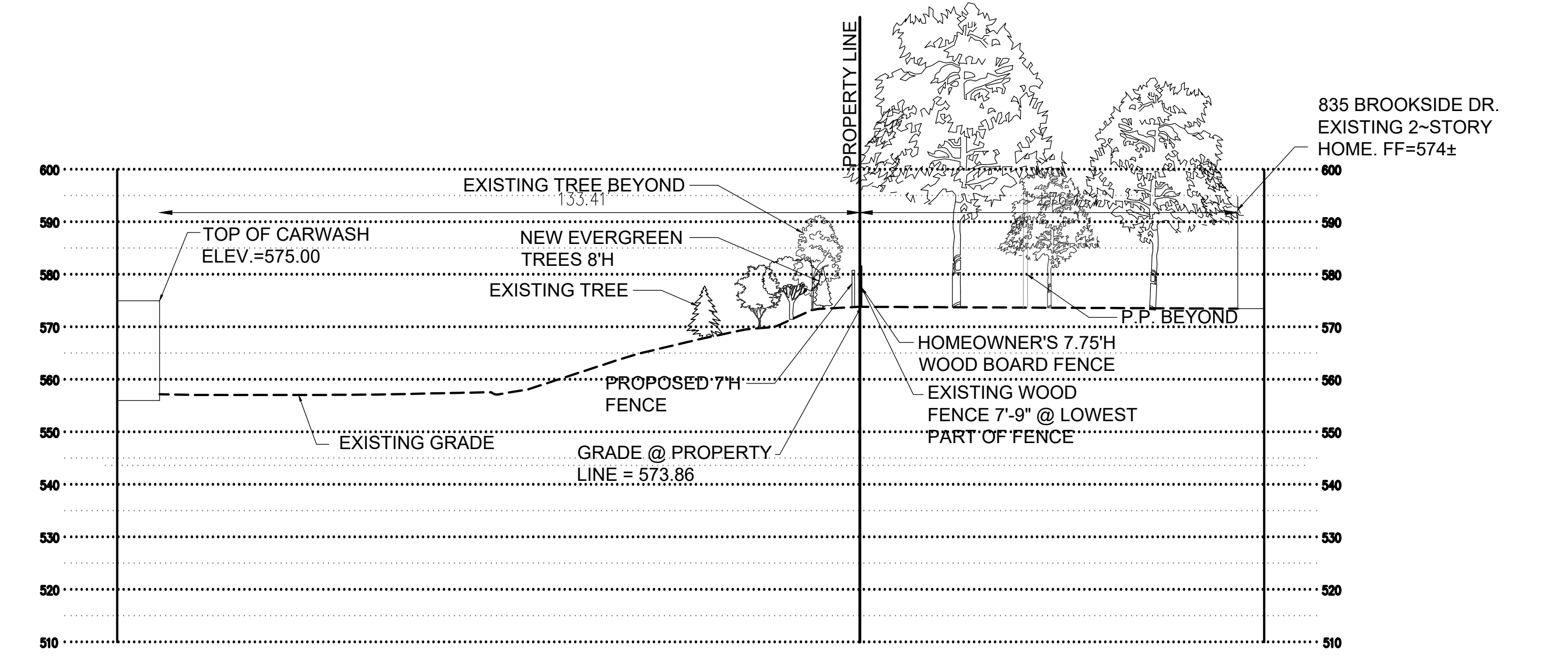
4 Section D-D
SCALE 1"=20'



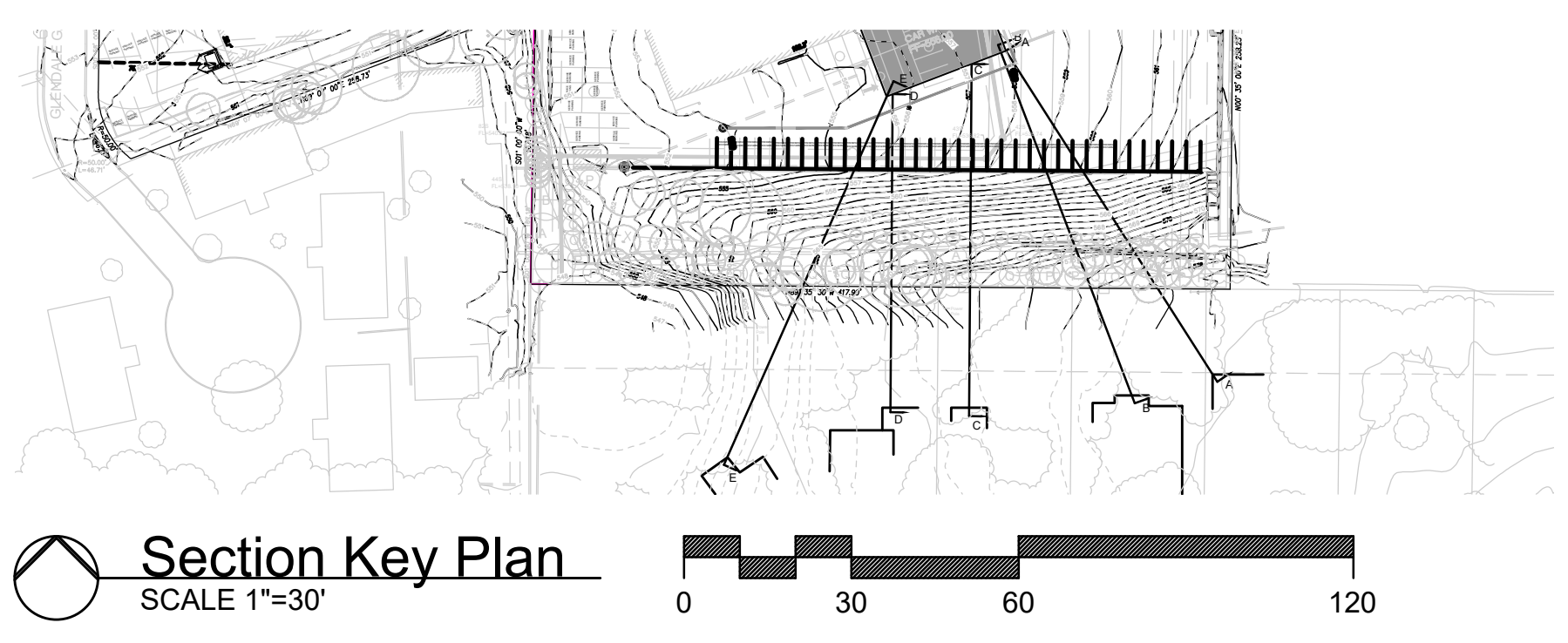
2 Section B-B
SCALE 1"=20'



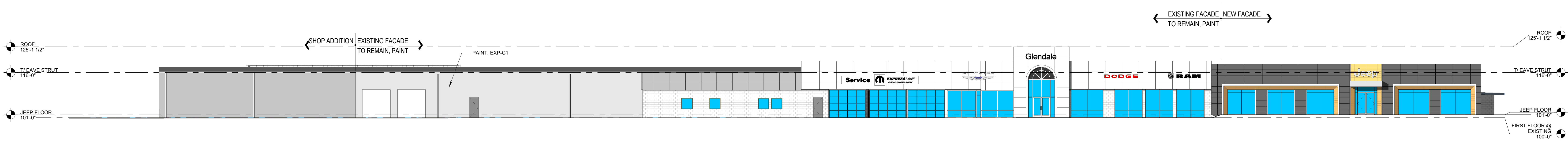
5 Section E-E
SCALE 1"=20'



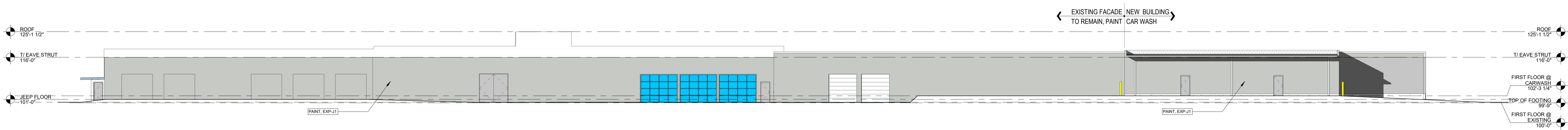
3 Section C-C
SCALE 1"=20'



Section Key Plan
SCALE 1"=30'



B1 OVERALL BUILDING ELEVATION - NORTH
1/16" = 1'-0"



A1 OVERALL BUILDING ELEVATION - SOUTH
1/16" = 1'-0"

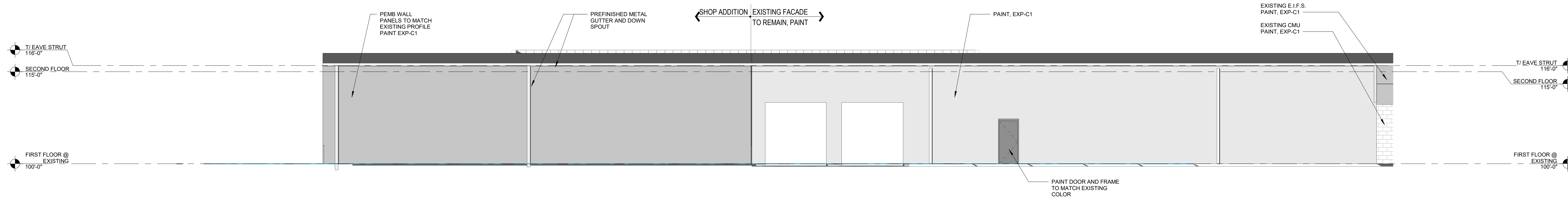
Showroom Renovation and Service Bay Addition

Glendale Chrysler Jeep Dodge Ram

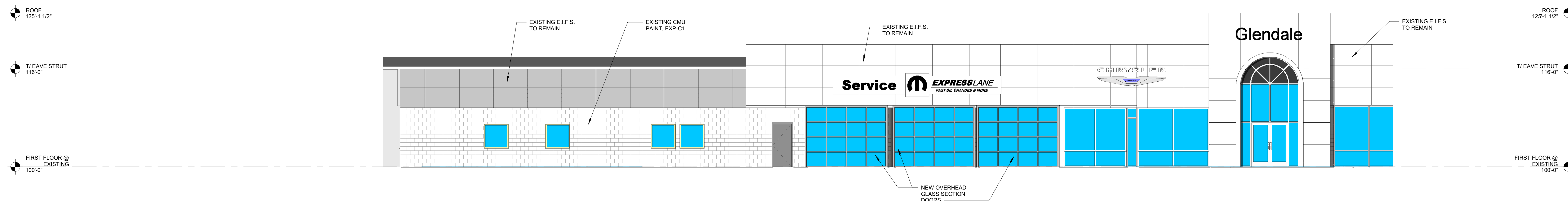
17107 Chesterfield Airport Road | Suite 110
Chesterfield, Missouri 63005
314.991.9993
aciboland.com



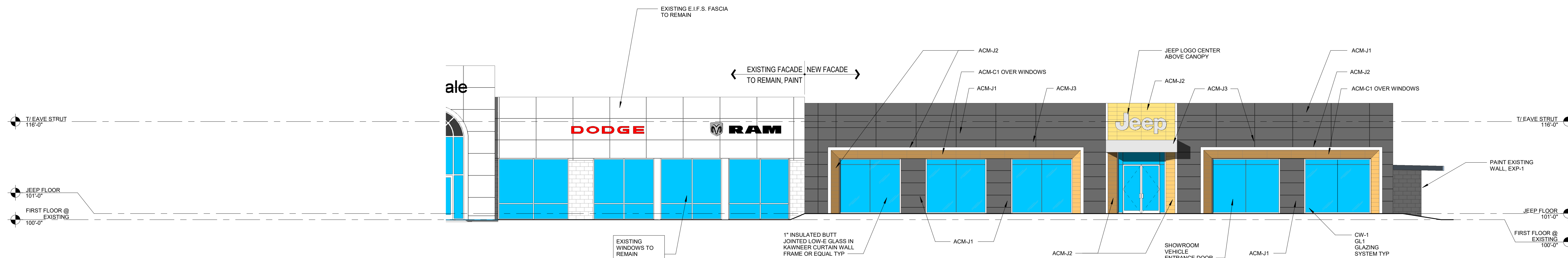
12/14/2022



C1 PARTIAL ELEVATION - NORTH
1/8" = 1'-0"



B1 PARTIAL ELEVATION - NORTH
1/8" = 1'-0"



A1 PARTIAL ELEVATION - NORTH
1/8" = 1'-0"

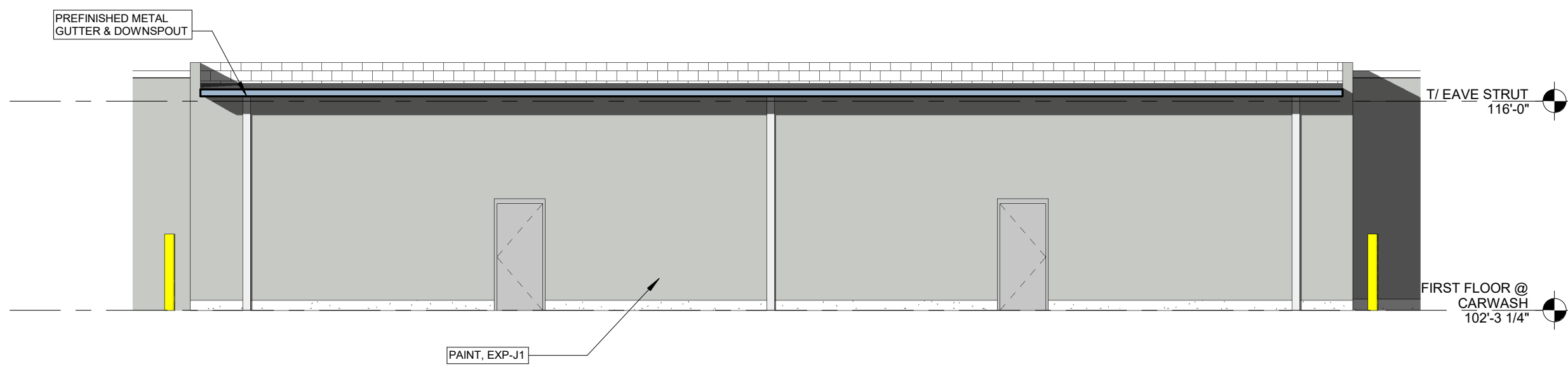
Showroom Renovation and Service Bay Addition

Glendale Chrysler Jeep Dodge Ram

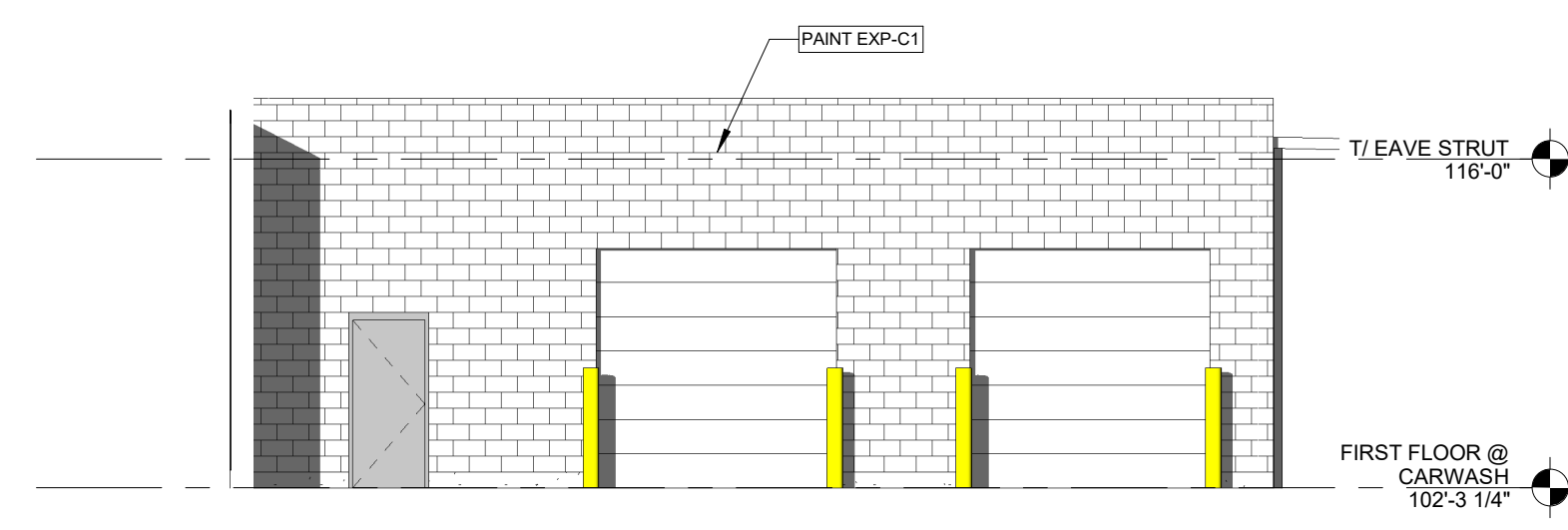
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12/14/2022

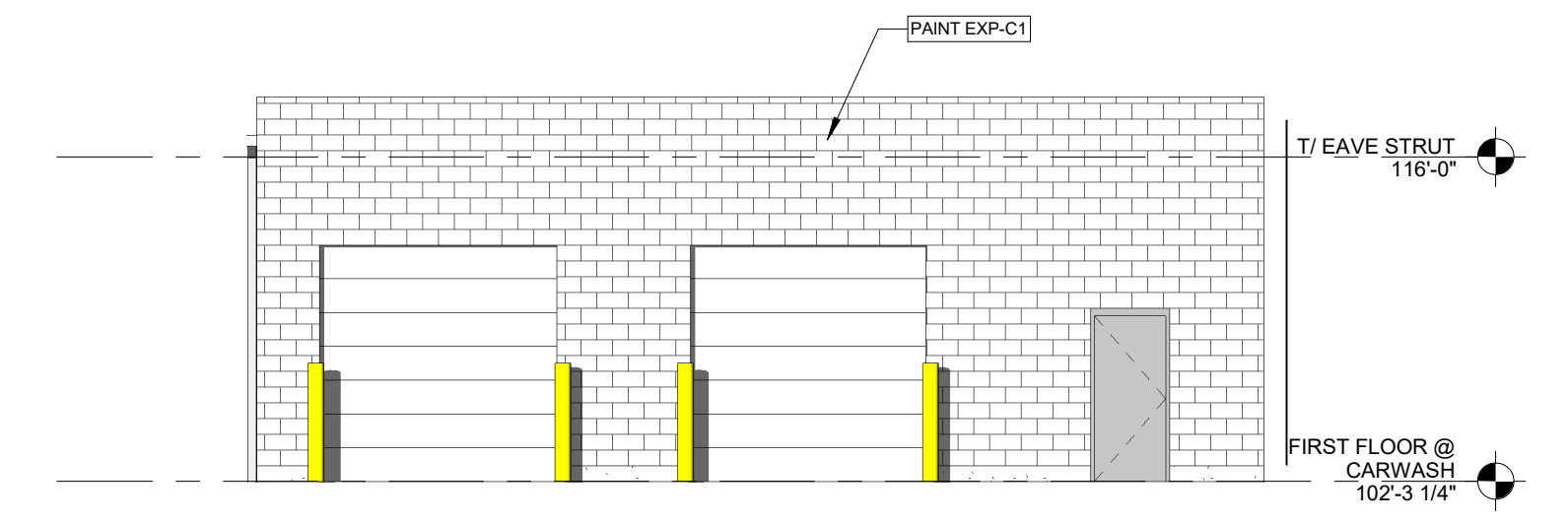




1 CAR WASH - SOUTH
1/8" = 1'-0"



2 CAR WASH - WEST
1/8" = 1'-0"



3 CAR WASH - EAST
1/8" = 1'-0"

Showroom Renovation and Service Bay Addition

Glendale Chrysler Jeep Dodge Ram

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12/14/2022

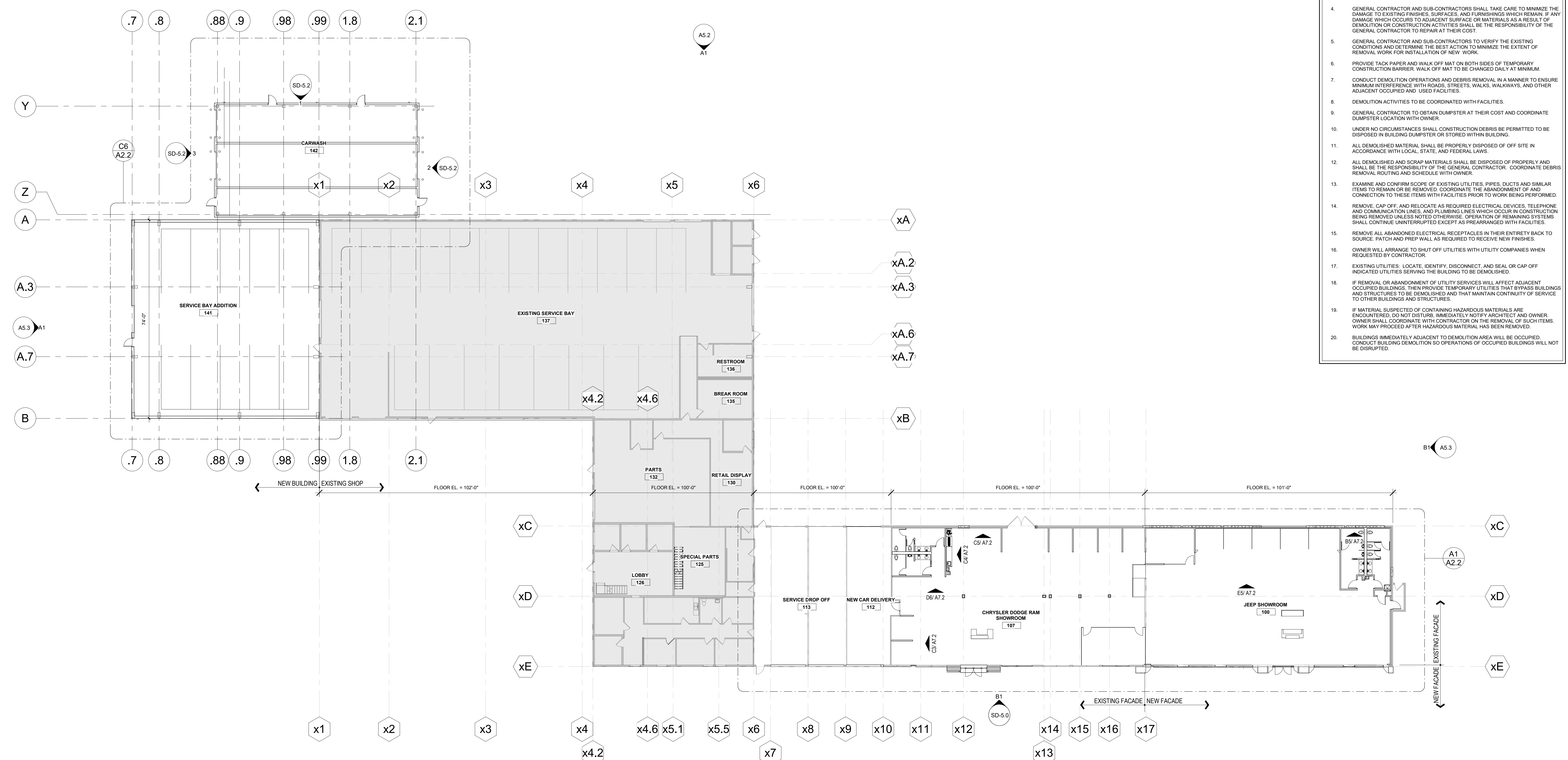


7/6/2023 10:21:37 AM

BLM 360/02-21117 Glendale Chrysler - Revit 2021/02/21/117 Glendale CDRJ - R21_scaiter2062T.rvt

FLOOR PLAN LEGEND			
	CONCRETE SLAB INFILL		CONCRETE SLAB INFILL
	NEW WALL		EXISTING WALL
	EXPANSION JOINT		EXISTING EXPANSION JOINT
	NEW DOOR		EXISTING DOOR

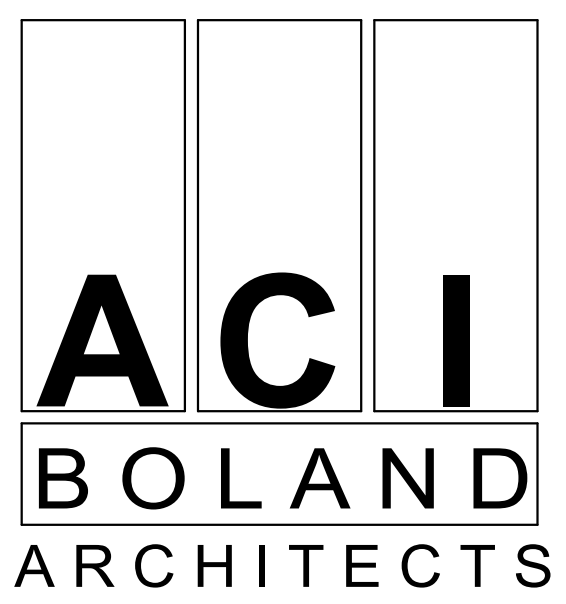
- ### GENERAL PLAN NOTES:
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH A.D.A. REQUIREMENTS AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL BUILDING CODES AND REGULATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY BUILDING PERMITS.
 - THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES OR DISCREPANCIES WITH THE PROJECT DOCUMENTS. ACCESS TO THE SITE AND/OR SPACE UNDER CONSTRUCTION DURING BIDDING AND CONSTRUCTION SHALL BE COORDINATED WITH THE OWNER.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING AND CONFIRMING ALL SUBSTRATE CONDITIONS WHERE NEW MATERIALS ARE APPLIED. THE SUBSTRATE SHALL BE SMOOTH AND FREE OF DEFECTS AND SHALL CONFORM TO THE REQUIREMENTS OF THE FINISHED MATERIAL MANUFACTURER'S RECOMMENDATIONS.
 - CONTRACTOR TO PROVIDE ALL REQUIRED LABOR, MATERIAL, AND EQUIPMENT NECESSARY TO MEET AND COMPLETE THE REQUIREMENTS OF THE NEW CONSTRUCTION.
 - ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PATCHED, REPAIRED, AND PREP AS REQUIRED FOR NEW FINISH APPLICATION.
 - DO NOT CLOSE OR OBSTRUCT WALKWAYS, EXITS, OR OTHER FACILITIES USED BY OCCUPANTS OF BUILDINGS WITHOUT WRITTEN PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
 - CONDUCT ALL OPERATIONS IN A SAFE WORKING MANNER TO PREVENT DAMAGE OR INJURY TO ADJACENT SPACES, BUILDING, STRUCTURE, OTHER FACILITIES, AND PERSONS.
 - SEE FINISH SCHEDULE FOR FINISH LOCATION AND SPECIFICATIONS.
 - SEE DOOR SCHEDULE FOR DOOR SPECIFICATIONS.
- #### DESIGN BUILD NOTES
- ALL ELECTRICAL, DATA, THERMOSTAT, AND TELEPHONE OUTLETS ARE FOR REFERENCE ONLY. COORDINATE WITH OWNER FOR EXACT QUANTITY AND LOCATION OF ALL ITEMS PRIOR TO WORK BEING PERFORMED. COMPLY WITH ALL APPLICABLE CODES.
 - DESIGN/BUILD CONTRACTOR TO PROVIDE FIRE AND LIFE SAFETY DEVICES, EGRESS LIGHTING DEVICES AS REQUIRED TO COMPLY WITH IFCPA STANDARDS AND ALL APPLICABLE BUILDING CODES. SUBMIT SIGNED AND SEALED DRAWINGS TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO WORK BEING PERFORMED.
 - IT IS THE DESIGN BUILDER'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS, AND ANY EXISTING NON-CODE COMPLIANT ITEMS REQUIRING UPGRADES, AS A PART OF PREPARING THEIR DESIGN BUILD PROPOSAL.
 - EXISTING MEPPF DEVICES SHOWN ARE BASED ON EXISTING DRAWINGS AND/OR FIELD OBSERVATIONS. THE OWNER/ARCHITECT DOES NOT GUARANTEE THE ACCURACY/LOCATION OR QUANTITY OF EXISTING DEVICES.
- #### DEMOLITION NOTES
- PLANS REPRESENTS DEMOLITION INTENT. ITEMS MAY BE CONCEALED WITHIN WALL(S) THAT ARE NOT IDENTIFIED ON PLAN.
 - EXIST. CONSTRUCTION (SHOWN DASHED) INDICATES ITEMS TO BE REMOVED UNLESS NOTED OTHERWISE.
 - PRIOR TO DEMOLITION, REMOVAL OF EXISTING EQUIPMENT AND FURNISHING TO BE COORDINATED WITH OWNER ON WHICH ITEMS TO BE SALVAGED.
 - GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL TAKE CARE TO MINIMIZE THE DAMAGE TO EXISTING FINISHES, SURFACES, AND FURNISHINGS WHICH REMAIN. IF ANY DAMAGE WHICH OCCURS TO ADJACENT SURFACES OR MATERIALS AS A RESULT OF DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REPAIR AT THEIR COST.
 - GENERAL CONTRACTOR AND SUB-CONTRACTORS TO VERIFY THE EXISTING CONDITIONS AND DETERMINE THE BEST ACTION TO MINIMIZE THE EXTENT OF REMOVAL WORK FOR INSTALLATION OF NEW WORK.
 - PROVIDE TACK PAPER AND WALK OFF MAT ON BOTH SIDES OF TEMPORARY CONSTRUCTION BARRIERS. WALK OFF MAT TO BE CHANGED DAILY AT MINIMUM.
 - CONDUCT DEMOLITION OPERATIONS AND DEBRIS REMOVAL IN A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
 - DEMOLITION ACTIVITIES TO BE COORDINATED WITH FACILITIES.
 - GENERAL CONTRACTOR TO OBTAIN DUMPSTER AT THEIR COST AND COORDINATE DUMPSTER LOCATION WITH OWNER.
 - UNDER NO CIRCUMSTANCES SHALL CONSTRUCTION DEBRIS BE PERMITTED TO BE DISPOSED IN BUILDING DUMPSTER OR STORED WITHIN BUILDING.
 - ALL DEMOLISHED MATERIAL SHALL BE PROPERLY DISPOSED OF OFF SITE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL LAWS.
 - ALL DEMOLISHED AND SCRAP MATERIALS SHALL BE DISPOSED OF PROPERLY AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. COORDINATE DEBRIS REMOVAL ROUTING AND SCHEDULE WITH OWNER.
 - EXAMINE AND CONFIRM SCOPE OF EXISTING UTILITIES, PIPES, DUCTS AND SIMILAR ITEMS TO REMAIN OR BE REMOVED. COORDINATE THE ABANDONMENT OF AND CONNECTION TO THESE ITEMS WITH FACILITIES PRIOR TO WORK BEING PERFORMED.
 - REMOVE, CAP OFF, AND RELOCATE AS REQUIRED ELECTRICAL DEVICES, TELEPHONE AND COMMUNICATION LINES, AND PLUMBING LINES WHICH OCCUR IN CONSTRUCTION BEING REMOVED UNLESS NOTED OTHERWISE. OPERATION OF REMAINING SYSTEMS SHALL CONTINUE UNINTERRUPTED EXCEPT AS PREARRANGED WITH FACILITIES.
 - REMOVE ALL ABANDONED ELECTRICAL RECEPTACLES IN THEIR ENTIRETY BACK TO SOURCE. PATCH AND PREP WALL AS REQUIRED TO RECEIVE NEW FINISHES.
 - OWNER WILL ARRANGE TO SHUT OFF UTILITIES WITH UTILITY COMPANIES WHEN REQUESTED BY CONTRACTOR.
 - EXISTING UTILITIES: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITIES SERVING THE BUILDING TO BE DEMOLISHED.
 - IF REMOVAL OR ABANDONMENT OF UTILITY SERVICES WILL AFFECT ADJACENT OCCUPIED BUILDINGS, THEN PROVIDE TEMPORARY UTILITIES THAT BYPASS BUILDINGS AND STRUCTURES TO BE DEMOLISHED AND THAT MAINTAIN CONTINUITY OF SERVICE TO OTHER BUILDINGS AND STRUCTURES.
 - IF MATERIAL SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY ARCHITECT AND OWNER. OWNER SHALL COORDINATE WITH CONTRACTOR ON THE REMOVAL OF SUCH ITEMS. WORK MAY PROCEED AFTER HAZARDOUS MATERIAL HAS BEEN REMOVED.
 - BUILDINGS IMMEDIATELY ADJACENT TO DEMOLITION AREA WILL BE OCCUPIED. CONDUCT BUILDING DEMOLITION SO OPERATIONS OF OCCUPIED BUILDINGS WILL NOT BE DISRUPTED.



A1 OVERALL FLOOR PLAN
1/16" = 1'-0"



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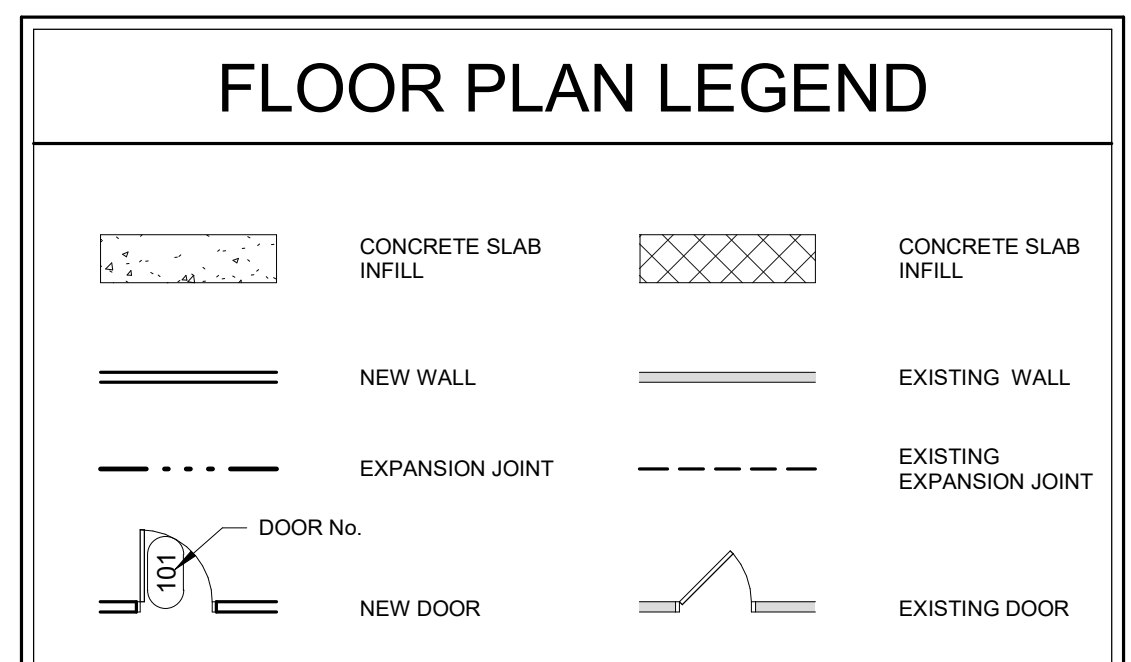
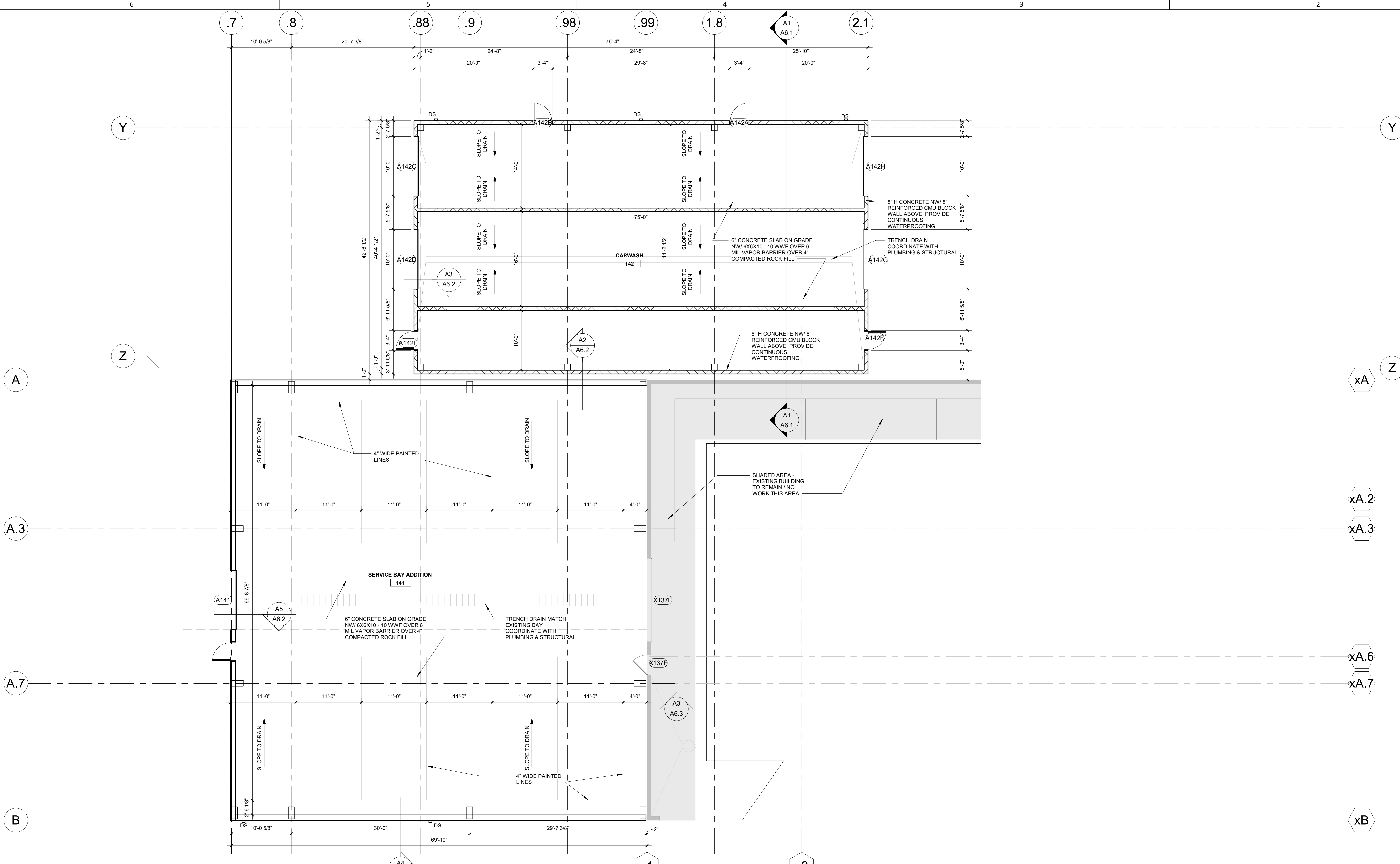
Glendale Chrysler Jeep Dodge Ram
Showroom Renovation and Service
Bay Addition
10700 Manchester Road
St. Louis, Missouri 63122

Date 02-21-22
Job Number 21117
Drawn By MPM
Checked By RAC

Revision
Number Date Description

A2.1

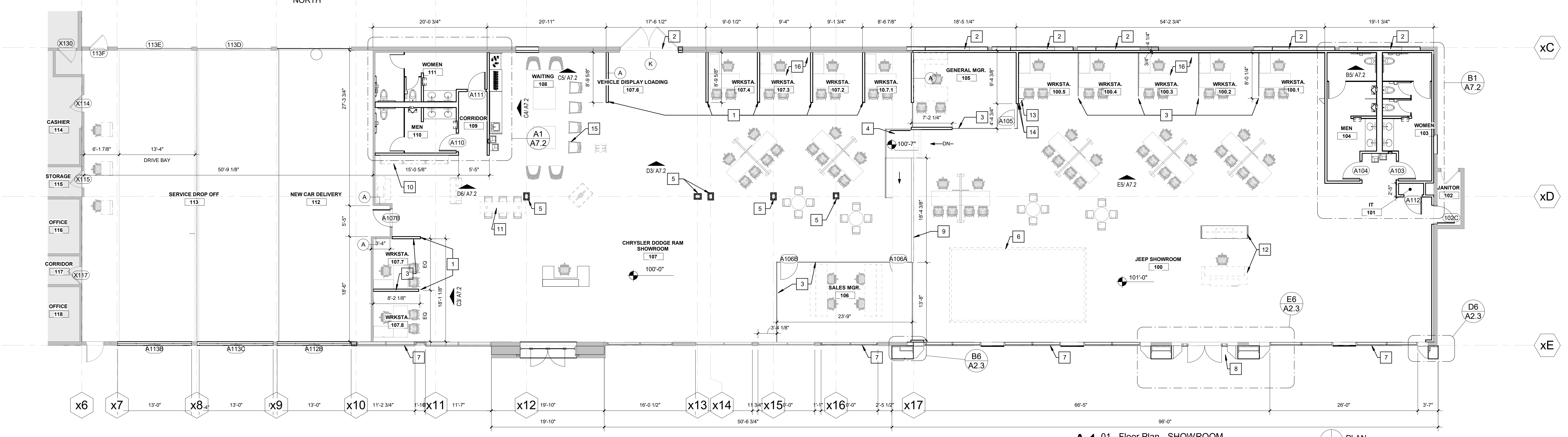
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FIRST FLOOR DIMENSION PLAN



KEYNOTES - FLOOR PLAN

NUMBER	COMMENTS
1	ALIGN FACE OF GYP BD.
2	INFILL EXISTING OPENING WITH CMU ALIGN EACH SIDE WITH EXISTING WALL.
3	NEW BUTT GLAZING CLEAR WINDOW SYSTEM. FINISH FLOOR TO CEILING.
4	DRAMP.
5	WRAP EXISTING COLUMN WITH PARTITION TYPE K1 HOLD TIGHT TO STRUCTURE.
6	VEHICLE PAD BY OWNER.
7	NEW STOREFRONT WINDOW SYSTEM. MATCH EXISTING WINDOW SYSTEMS.
8	NEW ENTRY SYSTEMS.
9	42" HIGH PARTITION.
10	KEEP TRAIL WALL REQUIRES AN ELECTRIC OUTLET AT 86.75" A.F.F. SEE ELEC. DRAWINGS.
11	KEEP TECH BAR REQUIRES POWER. COORDINATE WITH FURNITURE VENDOR FOR ELEC. REQUIREMENTS. SEE ELEC. DRAWINGS.
12	WELCOME WALL, CREDENTIAL AND RECEPTION DESK REQUIRE POWERS. COORDINATE WITH FURNITURE VENDOR FOR ELEC. REQUIREMENTS. SEE ELEC. DRAWINGS.
13	MILLWORK SURROUND AT THE OPENING. G.C. TO VERIFY OPENING SIZE. SEE DETAIL SHEET FOR MORE INFORMATION.
14	ALIGN WITH ADJACENT WALL.
15	DEALERSHIP FURNITURE WILL BE APPROVED SEPARATELY BY CRE PROJECT MANAGER.
16	ALL CUSTOMER SALES FURNITURE WILL BE BY STELLANTIS APPROVED VENDOR.

C6 01 - Floor Plan - SHOP CARWASH
1/8" = 1'-0"



A1 01 - Floor Plan - SHOWROOM
1/8" = 1'-0"

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ENLARGED PLANS